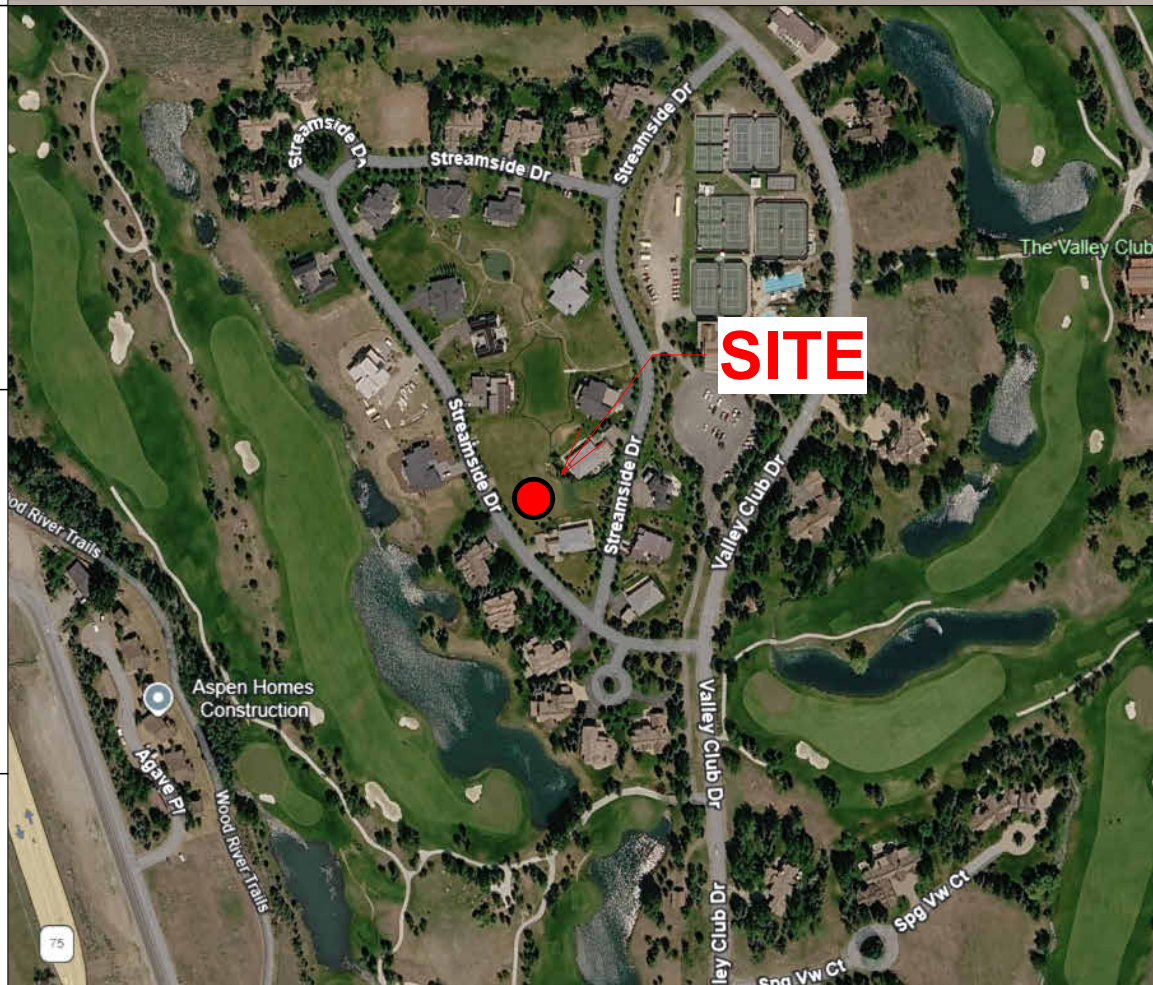
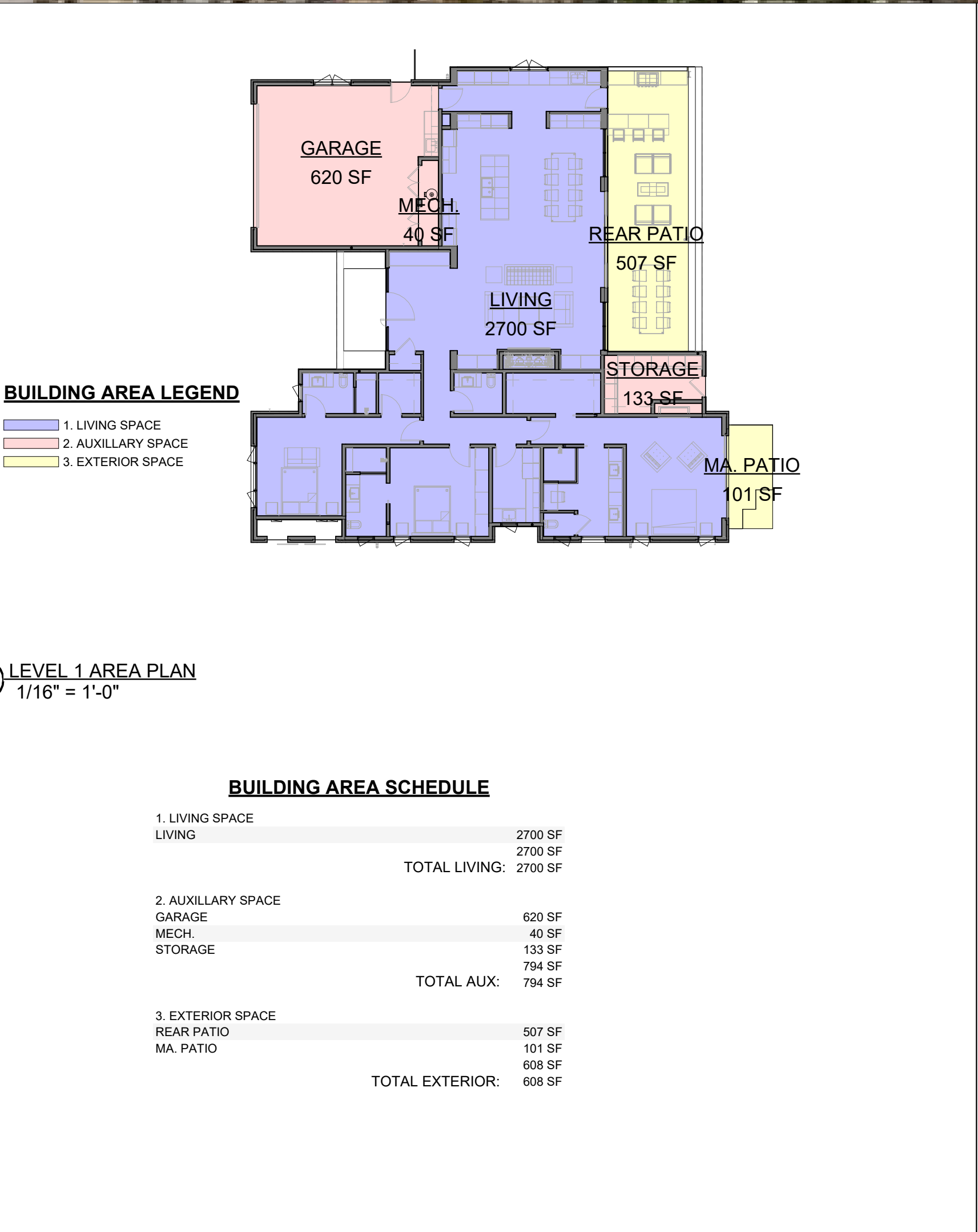


STREAMSIDE RESIDENCE



ENERGY CODE:	
MIN. REQ'D R-VALUES AND U-VALUES PER 2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH IDAHO STATE AMENDMENTS.	
R-VALUES ARE MINIMUMS. U-FACTORS AND SOLAR HEAT GAIN COEFFICIENTS ARE MAXIMUMS. R-19 BATTS COMPRESSED IN TO NOMINAL 2X6 FRAMING CAVITY SUCH THAT THE R-VALUE IS REDUCED BY R-1 OR MORE SHALL BE MARKED WITH THE COMPRESSED BATT R-VALUE IN ADDITION TO THE FULL THICKNESS R-VALUE.	
PRESCRIPTIVE TABLE R402.1.2	
CLIMATE ZONE AND SUBTYPE	6B
• CRAWL SPACE WALL R-VALUE	15/19
• PENETRATION U-FACTOR	0.30
• SKYLIGHT U-FACTOR	0.25
• GLAZED SHGC PENETRATION	NR
• CEILING R-VALUE	60
• WOOD FRAME WALL R-VALUE	30 OR 20/5 OR 13/101 OR 0/20
• MASS WALL R-VALUE	15/20
• FLOOR R-VALUE	30
• BASEMENT WALL R-VALUE	15/19
• SLAB R-VALUE AND DEPTH	10/4
ENERGY CODE DESCRIPTION	
1. ALL FACED BATTS TO BE TAPED TO PROVIDE VAPOR BARRIER.	
2. VAPOR BARRIER TO BE INSTALLED ON WARM SIDE.	
3. PROVIDE SEALANT, CAULKING AND GASKETING AS REQ'D BY IECC. SEE GENERAL NOTES.	
4. INSTALL WEATHERSTRIPPING AS REQ'D AT ALL EXTERIOR PENETRATIONS, WINDOWS AND DOORS.	
5. ELECTRIC WATER HEATER WITH MIN. EF OF 0.83 AND FOR	
6. PROVIDE INSULATION FOR HOT WATER PIPE WITH A MINIMUM R-3 VALUE SHALL BE APPLIED TO THE FOLLOWING: PIPING 0.75" AND LARGER IN NOMINAL DIAMETER, PIPING SERVING MORE THAN ONE DWELLING UNIT, PIPING LOCATED OUTSIDE THE CONDITIONED SPACE, PIPING FROM WATER HEATER TO DISTRIBUTION MANIFOLD, PIPING LOCATED UNDER A FLOOR SLAB, BURIED IN PIPING, SUPPLY AND RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS.	



PROJECT INFO:	
PROJECT TITLE:	STREAMSIDE RESIDENCE
PROJECT ADDRESS:	30 STREAMSIDE DR. HALEY, ID 83333
PROJECT DESCRIPTION:	CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE
AUTHORITY HAVING JURISDICTION (AHJ):	BLAINE COUNTY
HOME OWNERS ASSOCIATION:	THE VILLAGE GREEN AT THE VALLEY CLUB
BUILDING CODES:	2021 INT'L RESIDENTIAL CODE (IRC) 2018 INT'L ENERGY CONSERVATION CODE (IECC) 2021 INT'L MECHANICAL CODE 2021 INT'L PLUMBING CODE 2021 NATIONAL ELECTRICAL CODE (NEC) 2021 INT'L FIRE CODE (IFC)
ENERGY CODE NOTE:	PROJECT TO COMPLY WITH 2018 IECC WITH IDAHO AMENDMENTS VIA PRESCRIPTIVE PATH. ALL VALUES TO MEET MINIMUM STANDARDS.
SEPARATE PERMITS:	MECHANICAL PERMIT FIRE ALARM / MONITOR
PROPERTY INFO:	
ZONING CODE:	R-2
PARCEL:	RP005710010300
ZONE:	RESIDENTIAL
LOT AREA:	0.18 ACRES
LEGAL DESCRIPTION:	PHASE 2, LOT 30, BLOCK 1B
OVERLAYS:	TBD
CONSTRUCTION INFO:	
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	NO
OCCUPANCY:	RESIDENTIAL
DESIGN CRITERIA:	
GROUND SNOW LOAD:	100 PSF
WIND SPEED:	80 MPH
SEISMIC DESIGN CATEGORY:	D1
WEATHERING:	SEVERE
FROST DEPTH LINE:	32"
TERMITE:	SLIGHT TO MODERATE
WINTER DESIGN TEMP:	WINTER HEATING: 70 WINTER HUMIDITY: 30%
ICE SHIELD UNDERLAYMENT REQUIRED:	YES
ICE BARRIER UNDERLAYMENT ON ROOF:	REQUIRED MINIMUM OF 24" INSIDE OF EXTERIOR WALL OF BUILDING
FLOOD HAZARD:	
AIR FREEZING INDEX:	2,000
MEAN ANNUAL TEMP:	40 DEGREES
PROJECT DESCRIPTION:	
THE PROPOSED DEVELOPMENT AT 30 STREAMSIDE IS A CONTEMPORARY SINGLE-STORY SINGLE-FAMILY RESIDENCE OF APPROXIMATELY 2,700 S.F. LIVING WITH AN ATTACHED 620 S.F. (2) CAR GARAGE. GRAND TOTAL OF 3,344 S.F. THE HOME IS (3) BEDROOMS, (3.5) BATHS.	

PROJECT TEAM:	
OWNER:	GREG LOWINGER & NANCY URNER 1852 41st AVE EAST, SEATTLE, WA 98112 EMAIL: GLOWINGERS@GLOWINGERS.COM PHONE: 206.354.2354
ARCHITECT:	TYLER WILSON ARCHITECTS 182 LINCOLN ST. TWIN FALLS, ID 83301 CONTACT: TYLER WILSON EMAIL: TYLER@TWILSONARCH.COM PHONE: 208.818.6040
CONTRACTOR:	TBD EMAIL: TBD PHONE: TBD
SURVEYOR:	ALPINE ENTERPRISES INC. P.O. BOX 2037, KETCHUM, ID 83340 CONTACT: BRENT SMITH EMAIL: BSMITH@ALPINEENTERPRISESINC.COM PHONE: 208.727.1988
LANDSCAPE ARCHITECT:	EGGERS ASSOCIATES, P.A. P.O. BOX 963, KETCHUM, ID 83340 CONTACT: KURT J. EGGERS EMAIL: KJET@EGGERSASSOCIATES.COM PHONE: 208.725.0988
STRUCTURAL ENGINEER:	VECTOR STRUCTURAL ENGINEERS, LLC 1478 W. USTICK RD. SUITE 110 MERIDIAN, ID 83646 CONTACT: MARCUS WUORI EMAIL: MARCUS.WUORI@VECTORSE.COM PHONE: 208.213.1915
GEOTECHNICAL ENGINEER:	TBD EMAIL: TBD PHONE: TBD
INTERIOR DESIGNER:	TBD EMAIL: TBD PHONE: TBD

PROJECT TEAM:

OWNER:

GREG LOVINGER & NANCY URNER
1852 4th AVE EAST, SEATTLE, WA 98112
EMAIL: GLOVINGER@BMDMTN.COM
PHONE: 206.354.2354

ARCHITECT:

TYLER WILSON ARCHITECTS
182 LINCOLN ST. TWIN FALLS ID 83301
CONTACT: TYLER WILSON
EMAIL: TYLER@TWILSONARCH.COM
PHONE: 208.878.6040

CONTRACTOR:

TBD
TBD
EMAIL: TBD
PHONE: TBD

SURVEYOR:

ALPINE ENTERPRISES INC.
P.O. BOX 2037, KETCHUM, ID 83340
CONTACT: BRENT SMITH
EMAIL: BSMITH@ALPINEENTERPRISESINC.COM
PHONE: 208.727.1988

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES, P.A
P.O.BOX 953, KETCHUM, ID. 83340
CONTACT: KURT J. EGGERS
EMAIL: KURT@EGGERSASSOCIATES.COM
PHONE: 208.725.0988

STRUCTURAL ENGINEER:

VECTOR STRUCTURAL ENGINEERS, LLC
474 W. JUSTICK RD, SUITE 110 MERIDIAN, ID 83646
CONTACT: MARCUS WUORI
EMAIL: MARCUS.WUORI@VECTORSER.COM
PHONE: 208.213.1915

GEOTECHNICAL ENGINEER:

TBD
TBD
EMAIL:
PHONE:

INTERIOR DESIGNER:

TBD
TBD
EMAIL: TBD
PHONE: TBD

HOA PRELIM

STREAMSIDE RESIDENCE

30 STREAMSIDE DR. HALEY, ID 83333

COVER SHEET

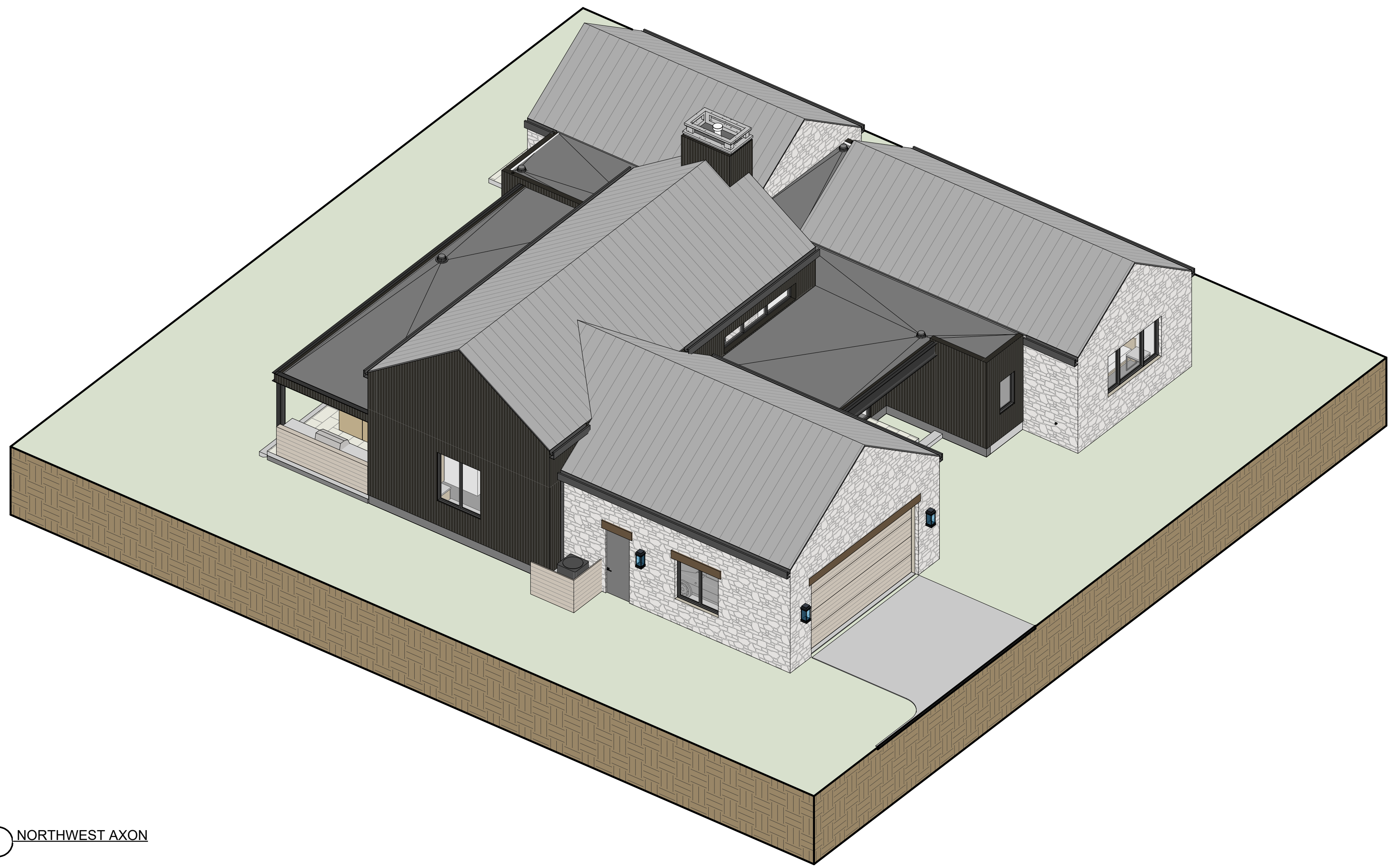
DATE

DESCRIPTION

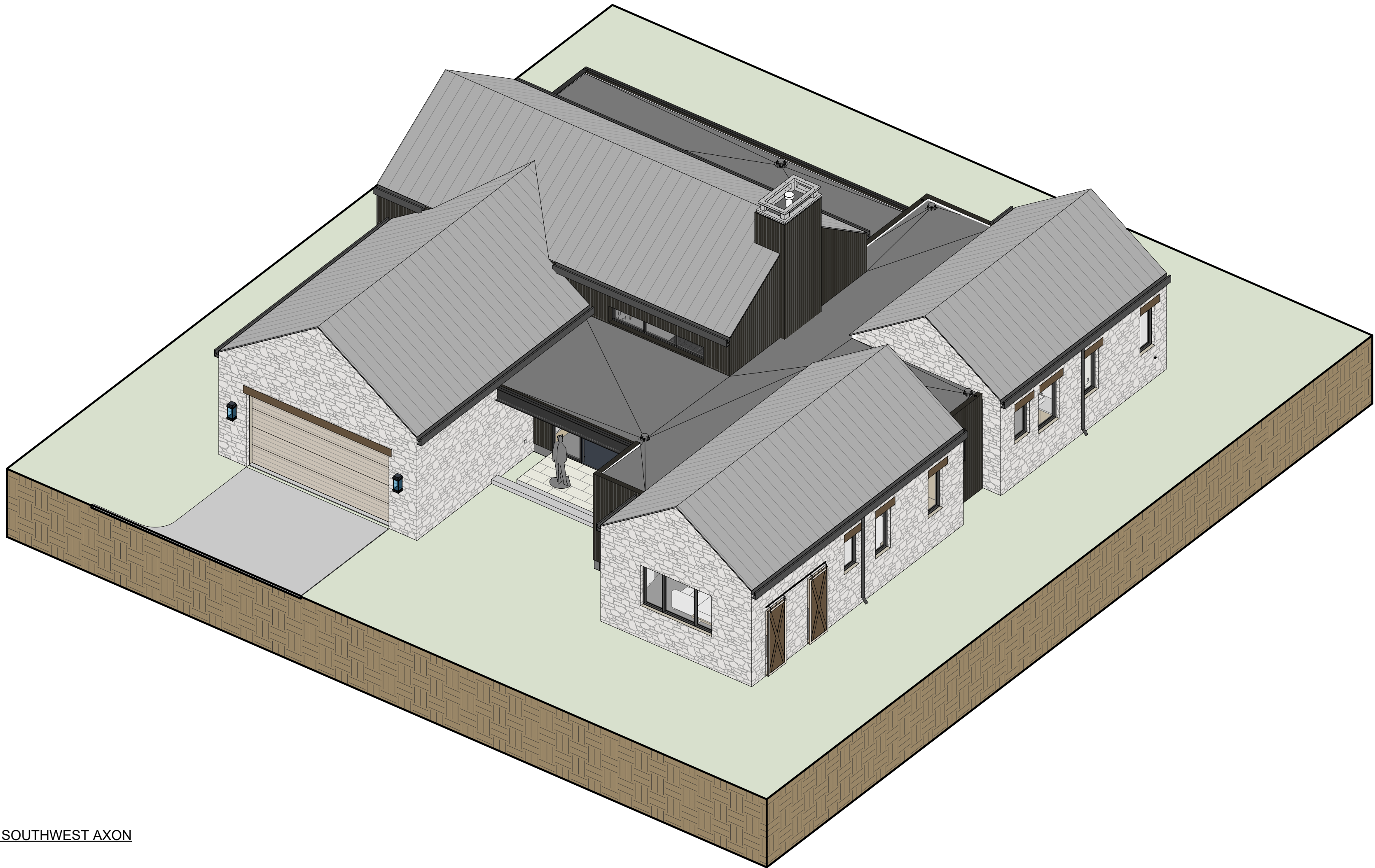
REV.

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

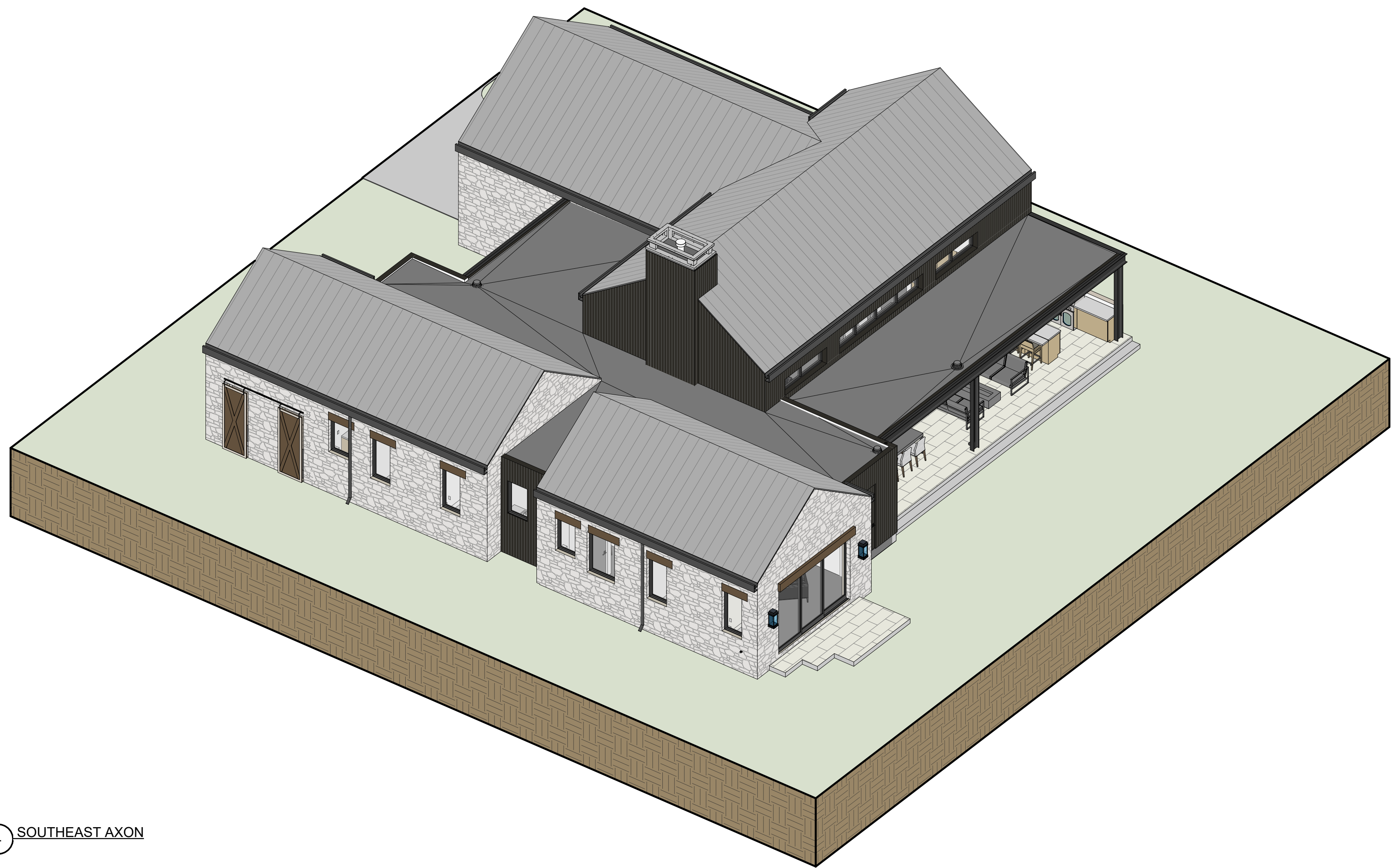
G00



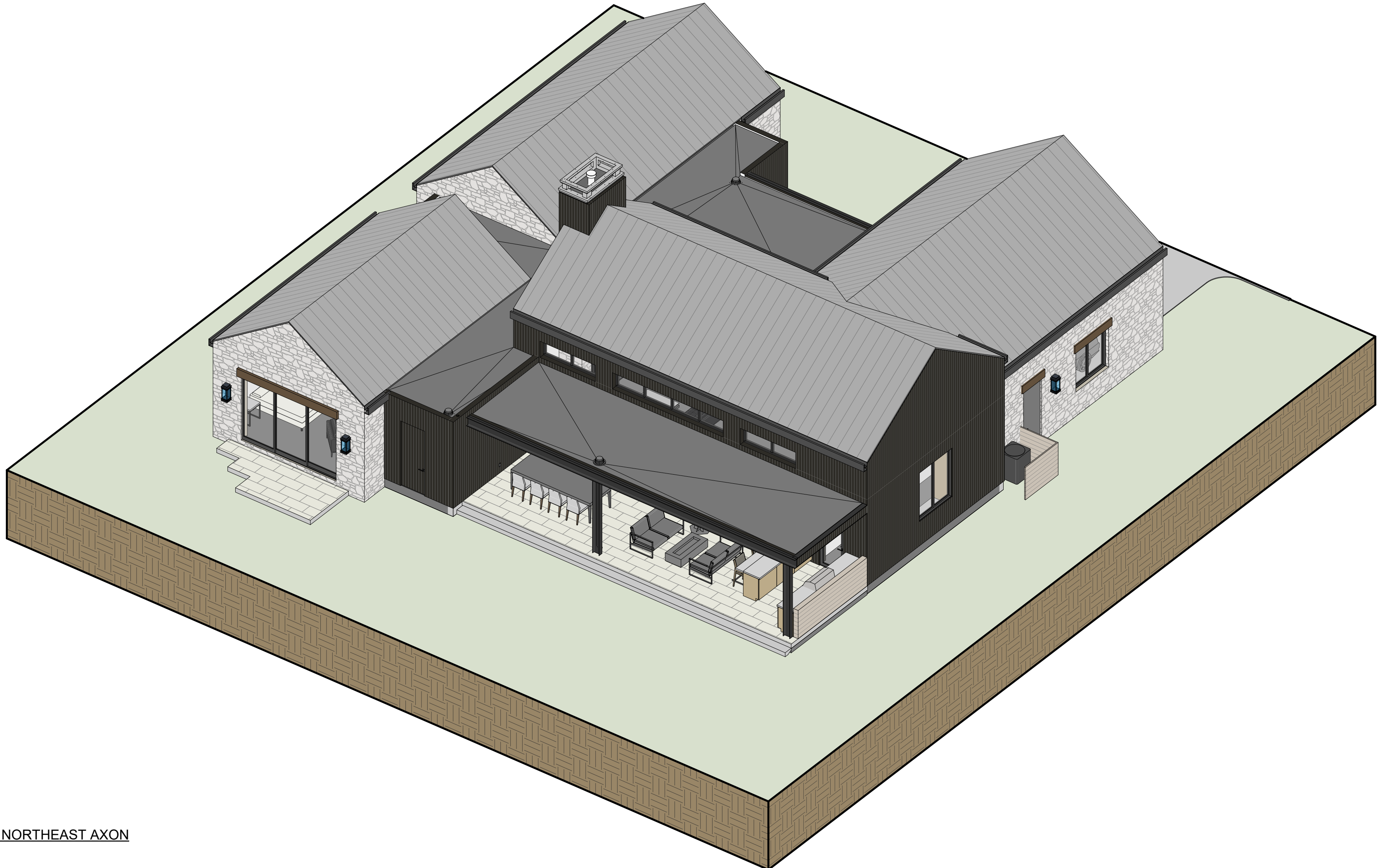
1 NORTHWEST AXON



2 SOUTHWEST AXON



4 SOUTHEAST AXON



3 NORTHEAST AXON



TYLER WILSON
ARCHITECTS

TYLERWILSONARCHITECTS.COM

208.818.6040

182 LINCOLN STREET

TWIN FALLS, ID 83301

COPYRIGHT 2023
TYLER WILSON ARCHITECTS, PLLC. ALL
RIGHTS RESERVED. REPRODUCTION OR
TRANSLATION OF ANY PART OF THIS WORK
WITHOUT THE WRITTEN PERMISSION OF
TYLER WILSON ARCHITECTS, PLLC IS
UNLAWFUL AND SUBJECT TO CRIMINAL
PROSECUTION

HOA PRELIM

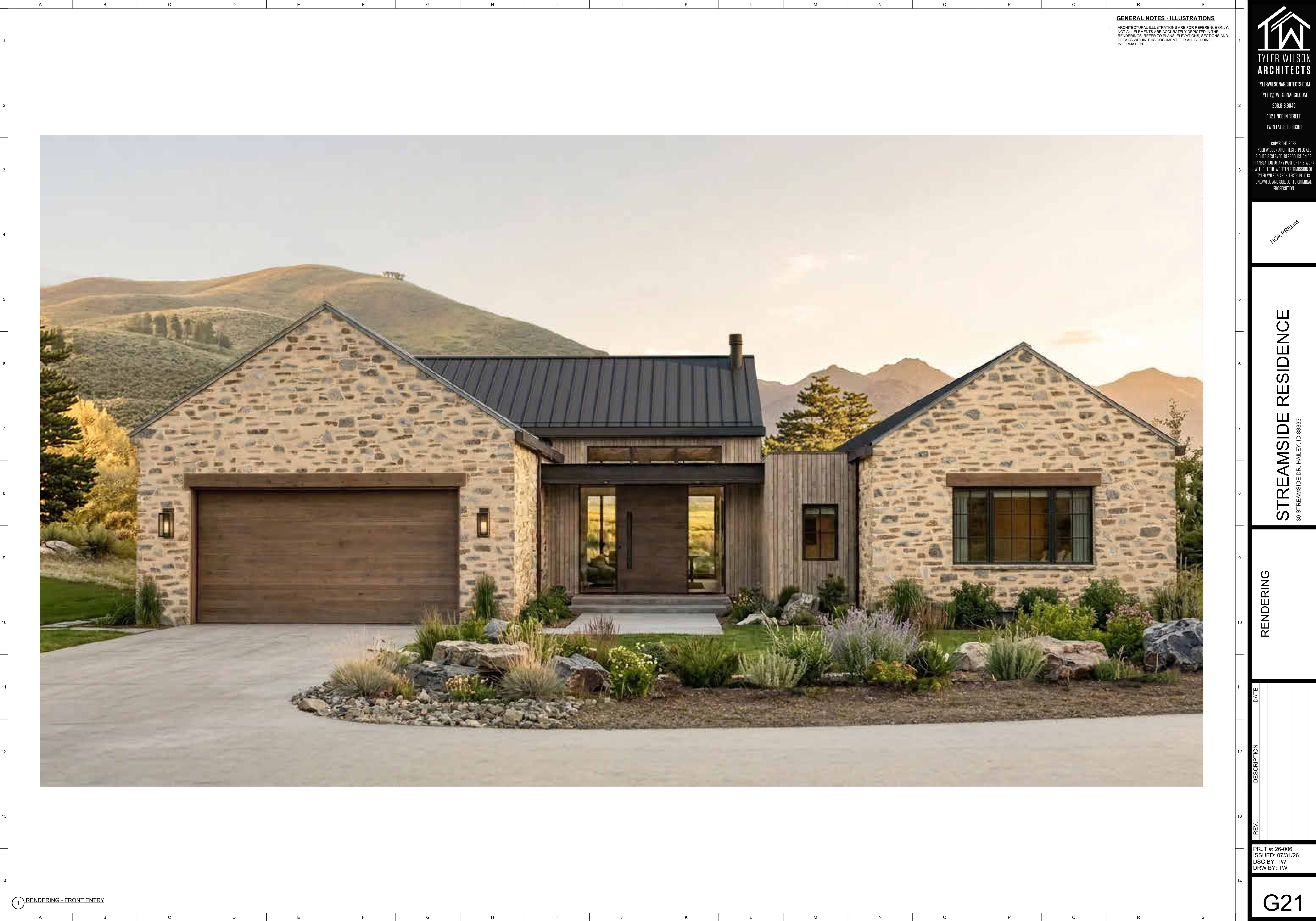
STREAMSIDE RESIDENCE
30 STREAMSIDE DR. HAILEY, ID 83333

AXONOMETRIC VIEWS

REV.	DESCRIPTION	DATE

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

G10



GENERAL NOTES - ILLUSTRATIONS

1 ARCHITECTURAL ILLUSTRATIONS ARE FOR REFERENCE ONLY. NOT ALL ELEMENTS ARE ACCURATELY DEPICTED IN THE RENDERINGS. REFER TO PLANS, ELEVATIONS, SECTIONS AND DETAILS WITHIN THIS DOCUMENT FOR ALL BUILDING INFORMATION.


**TYLER WILSON
ARCHITECTS**
TYLERWILSONARCHITECTS.COM
TYLER@TWILSONARCH.COM
208.818.8040
182 LINCOLN STREET
TWIN FALLS, ID 83301

COPYRIGHT 2023
TYLER WILSON ARCHITECTS, PLLC ALL RIGHTS RESERVED. REPRODUCTION OR TRANSLATION OF ANY PART OF THIS WORK WITHOUT THE WRITTEN PERMISSION OF TYLER WILSON ARCHITECTS, PLLC IS UNLAWFUL AND SUBJECT TO CRIMINAL PROSECUTION

HOA PRELIM

STREAMSIDE RESIDENCE
30 STREAMSIDE DR. HAILEY, ID 83333

RENDERING

REV.	DESCRIPTION	DATE

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

G21

1 RENDERING - FRONT ENTRY



GENERAL NOTES - ILLUSTRATIONS

1 ARCHITECTURAL ILLUSTRATIONS ARE FOR REFERENCE ONLY. NOT ALL ELEMENTS ARE ACCURATELY DEPICTED IN THE RENDERINGS. REFER TO PLANS, ELEVATIONS, SECTIONS AND DETAILS WITHIN THIS DOCUMENT FOR ALL BUILDING INFORMATION.


**TYLER WILSON
ARCHITECTS**
TYLERWILSONARCHITECTS.COM
TYLER@TWILSONARCH.COM
208.818.6040
182 LINCOLN STREET
TWIN FALLS, ID 83301

COPYRIGHT 2023
TYLER WILSON ARCHITECTS, PLLC ALL RIGHTS RESERVED. REPRODUCTION OR TRANSLATION OF ANY PART OF THIS WORK WITHOUT THE WRITTEN PERMISSION OF TYLER WILSON ARCHITECTS, PLLC IS UNLAWFUL AND SUBJECT TO CRIMINAL PROSECUTION

HOA PRELIM

STREAMSIDE RESIDENCE
30 STREAMSIDE DR. HAILEY, ID 83333

RENDERING

REV.	DESCRIPTION	DATE

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

G22

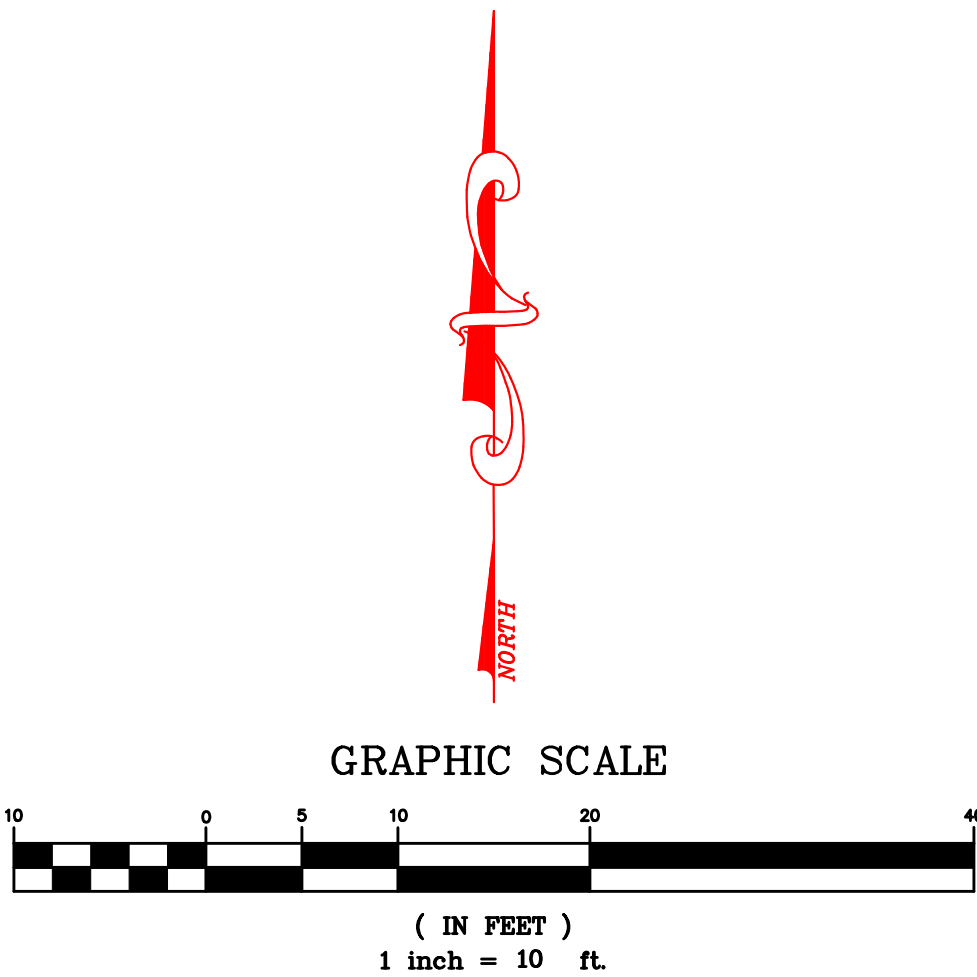


LEGEND

- Subject Boundary
- Adjoining Lot Line
- Centerline Right-of-Way
- Building Envelope*
- 5' Contour (Alpine 2026)
- 1' Contour (Alpine 2026)
- TOB - Top of Bank
- EOA - Edge of Asphalt
- EOG - Edge of Gravel
- EOC - Edge of Concrete
- FL - Drainage Flowline
- Sewer Main
- Found 5/8" Rebar, As Shown
- Found 1/2" Rebar, As Shown
- SMH - Sewer Manhole
- Storm Drain
- PBOX - Power Box
- PHBOX - Phone Box
- TV - TV Box
- IRR - Irrigation Box
- WMTR - Water Meter
- DT - Deciduous Tree
- NC - No Cap
- IC - Illegible Cap
- [] Record Bearing & Distance
Inst. No. 614414
* per Inst. No. 614414

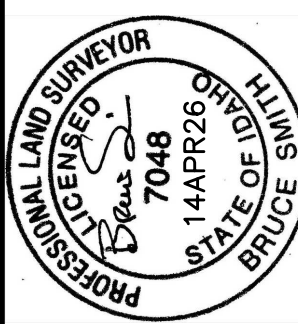
NOTES

- 1) Basis of Bearings is Grid North per Idaho State Plane Coordinate System, Central Zone, NAD83, (1992), at Grid in US Survey Feet. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of The Village Green at the Valley Club: Phase Two, Inst. No. 614414; Records of Blaine County, Idaho.
- 3) Except as stated or shown on this map, this Survey does not intend to reflect any of the following which may be applicable to Subject Real Property: Natural Hazards, Encroachments, Wetlands, Ditches, Easements other than those shown or listed hereon, Building Setbacks, Restrictive Covenants, Subdivision Restrictions, Zoning Restrictions, Land-Use Regulations, or Deed Restrictions and Exceptions contained within a current Title Policy.
- 4) The Subject Property is within the Blaine County Planned Residential Development District, R-2. Please refer to Blaine County Code of Ordinances for more information about this zone.
- 5) Utility Locations shown are based on visual surface evidence. Utility locations should be verified before any excavation.
- 6) Not all trees and vegetation are shown, some locations are approximate.
- 8) Aerial Imagery, if shown, is from Nearmap 2025.



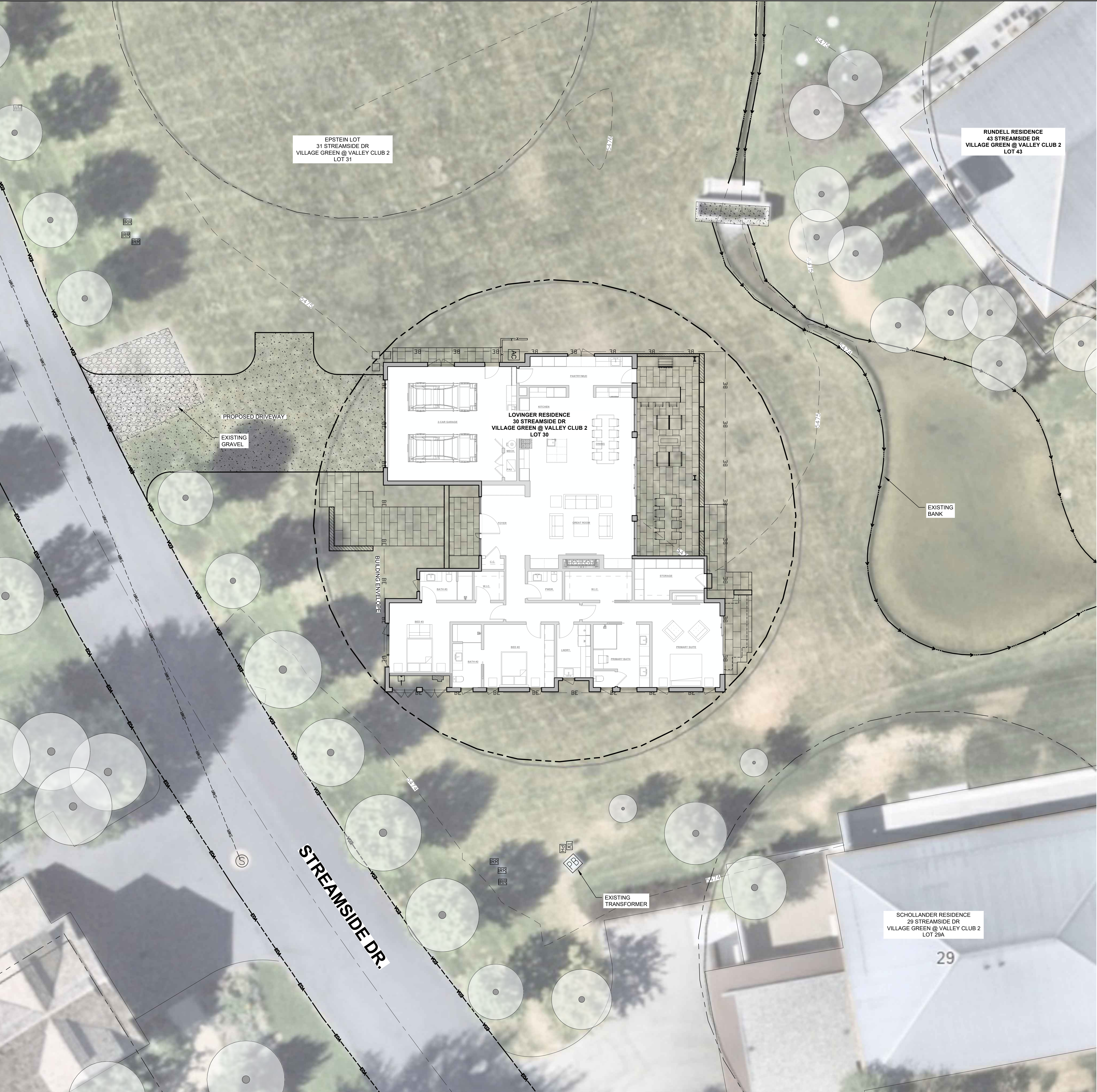
PROJECT PATH AND PRINT DATE U:\LandProjects2004\1796R_Rutherford_VillageGreen41\dwg\1796L130_VillageGreen_Blk1B_Lt30_2026.dwg 04/13/2026 10:23:41 AM MST

Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering,
and Natural Hazards Consulting
660 Bell Dr., Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1986
email: bsmit@alpineenterprisesinc.com



REVISIONS		NO	DATE	BY

A SITE SURVEY SHOWING
LOT 30, BLOCK 1B, THE VILLAGE GREEN AT THE VALLEY CLUB: PHASE TWO
WITHIN S29, T.3N., R.18E., B.M., BLAINE COUNTY, IDAHO
PREPARED FOR NANCY KELLOGG URNER



Aerial Imagery: BCGIS NM 2025

General Notes

1. Base map information taken from survey by Alpine Enterprises dated 04/13/36 and from on-site information. Architectural information provided by Tyler Wilson Architects dated 05/16/26. Contractor shall verify conditions in the field prior to construction.

2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.

3. All existing utilities are underground. All new utilities shall be underground.

4. Site serviced by South Central Health District and Wood River Rural Fire.

Plan Legend

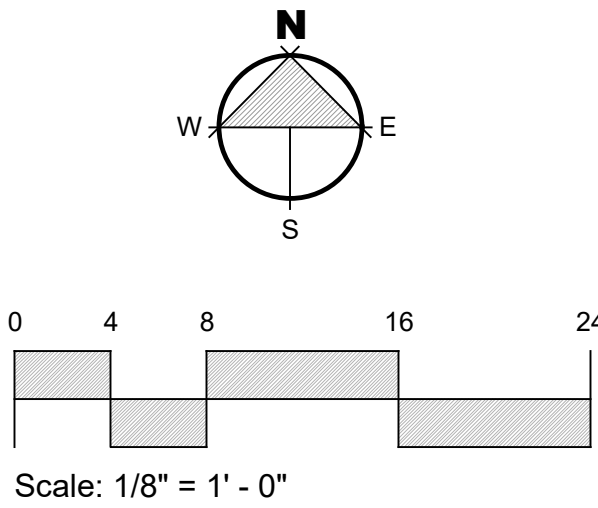
- Property Line
- BE Building Envelope
- 5787 Existing Contour
- Existing Stream
- Proposed Masonry Wall
- Utilities (PB, G)
- Proposed Pavers
- Proposed Asphalt
- Existing Gravel

Existing Tree Legend

- Existing Deciduous Tree



Proposed Fire Wall Example



DESIGN REVIEW - 07/24/26

Lovinger Residence

EGGERS ASSOCIATES, P.A.
Landscape architecture
T (208) 725-0988
F (208) 725-0972
P.O. Box 993
Ketchum, ID 83340

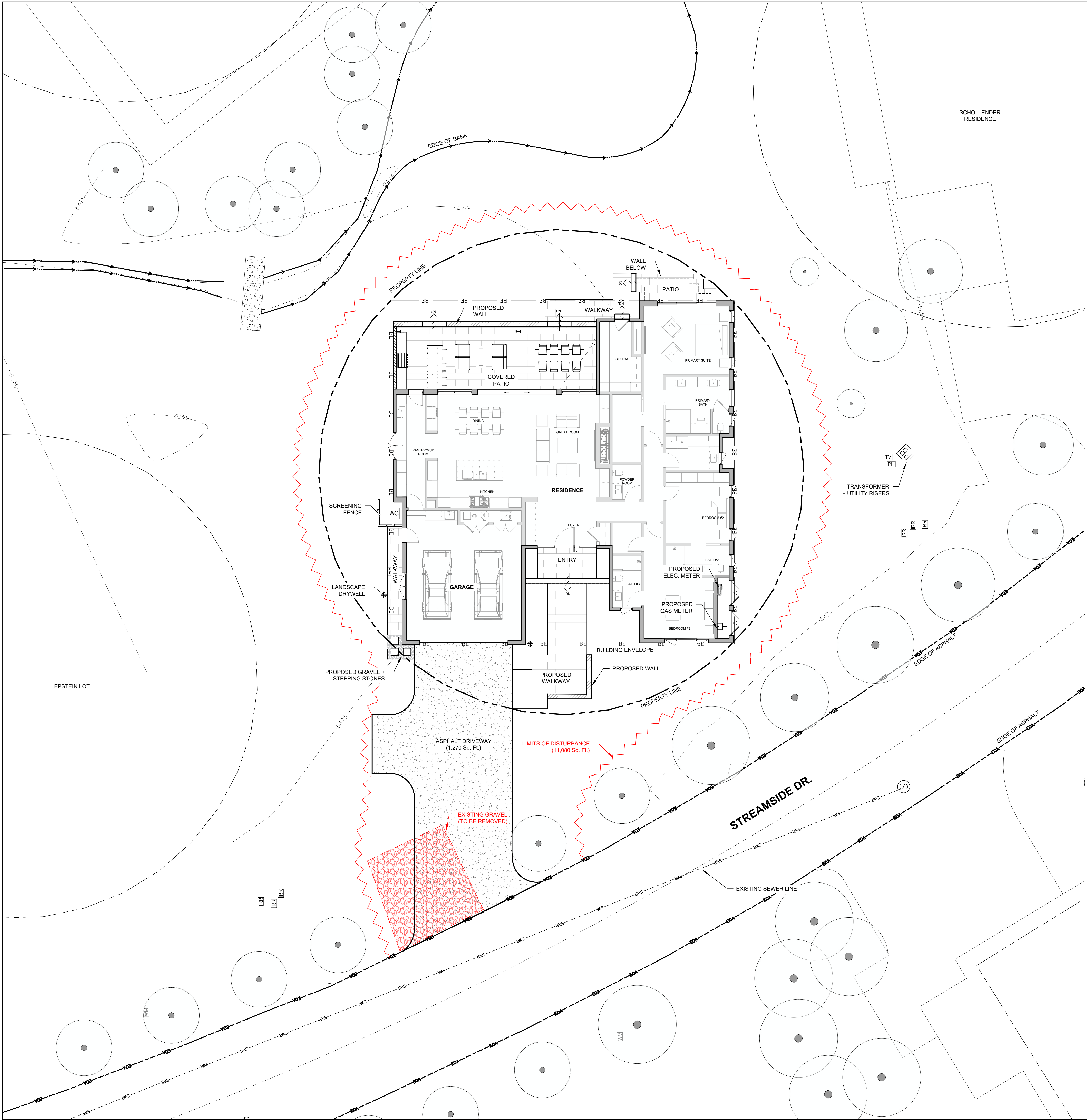
Lovinger Residence
30 Streamside Dr.
Village Green @ Valley Club 2, Lot 30
Blaine County, Idaho

Job No. 26.16
Scale: 1/8" = 1'-0"
Issue/Revisions: Date:
Design Review: 07/24/26

Stamp
EGGERS ASSOCIATES, P.A.
LANDSCAPE ARCHITECT
LA 217

Sheet Title:
Context Plan

Sheet No:
L1.0



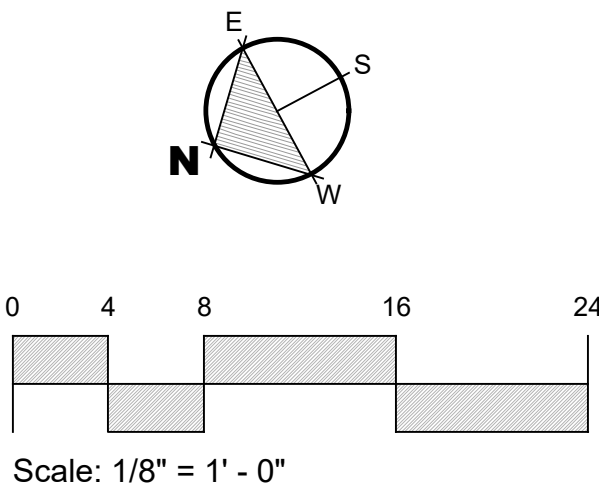
Site Plan Notes

1. Building location shall be staked at least one week prior to construction and approved by the owner or the owner's representative.

2. Site serviced by domestic well and individual septic system (to be approved by South Central Health Department).

Plan Legend	
	Property Line
	BE Building Envelope
	Existing Contour
	Existing Stream
	Proposed Masonry Wall
	Utilities
	Proposed Pavers (1,060 Sq. Ft.)
	Proposed Asphalt (1,270 Sq. Ft.)
	Proposed Gravel (20 Sq. Ft.)
	Surface Drywell
	Limits Of Disturbance

Existing Tree + Demo Legend	
	Existing Tree (To Remain)
	Existing Gravel (To Be Removed)



DESIGN REVIEW - 07/24/26

Lovinger Residence

EGGERS ASSOCIATES, P.A.
Landscape architecture
T (208) 725-5988
F (208) 725-5972
P.O. Box 973
Ketchum, ID 83340

Lovinger Residence
30 Streamside Dr.
Village Green @ Valley Club 2, Lot 30
Blaine County, Idaho

Job No. 26.16

Scale: 1/8" = 1'-0"

Issue/Revisions: Date:

Design Review 07/24/26

All information appearing herein shall not be duplicated, distorted or otherwise used without the written consent of Eggers Associates, P.A.



Sheet Title:
Site Plan

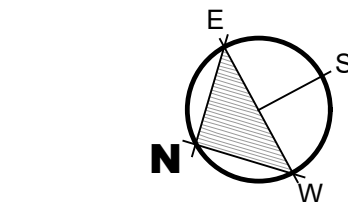
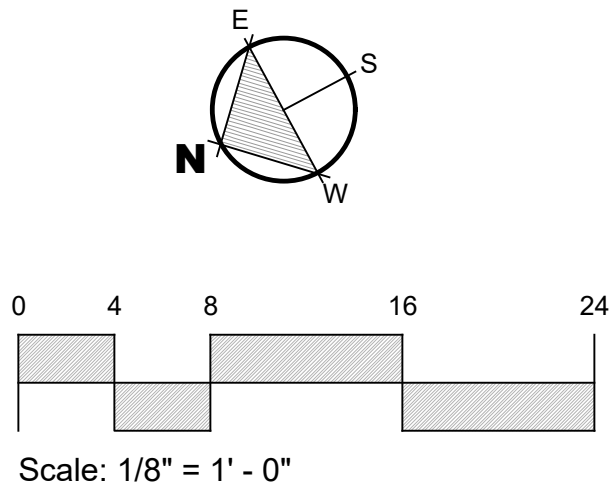
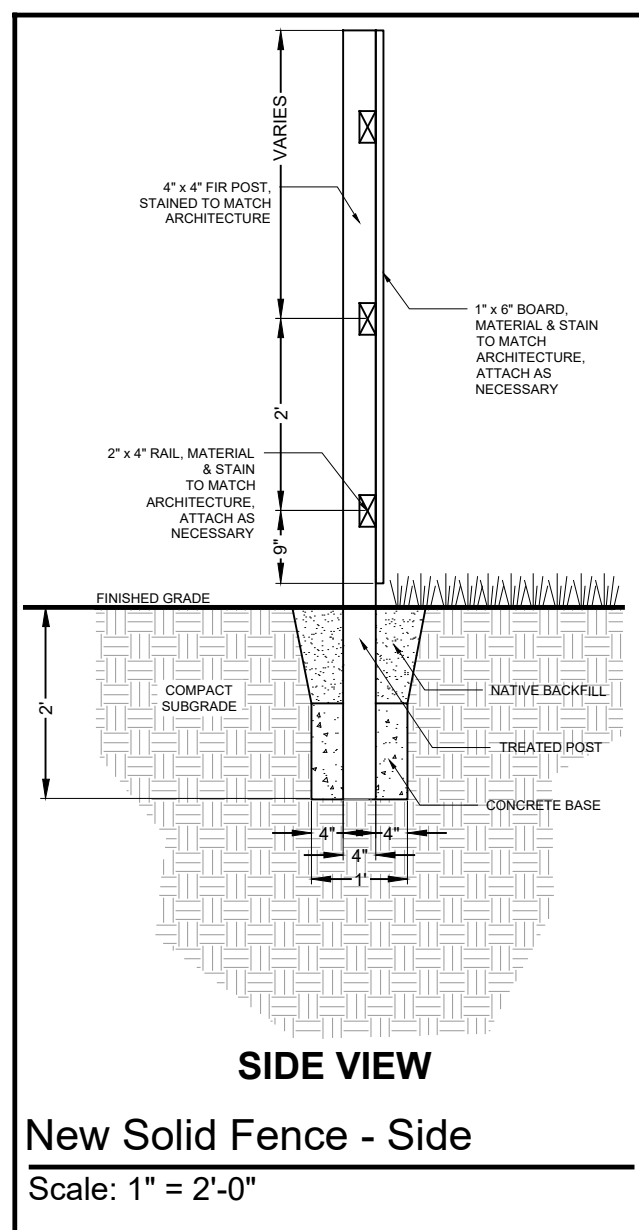
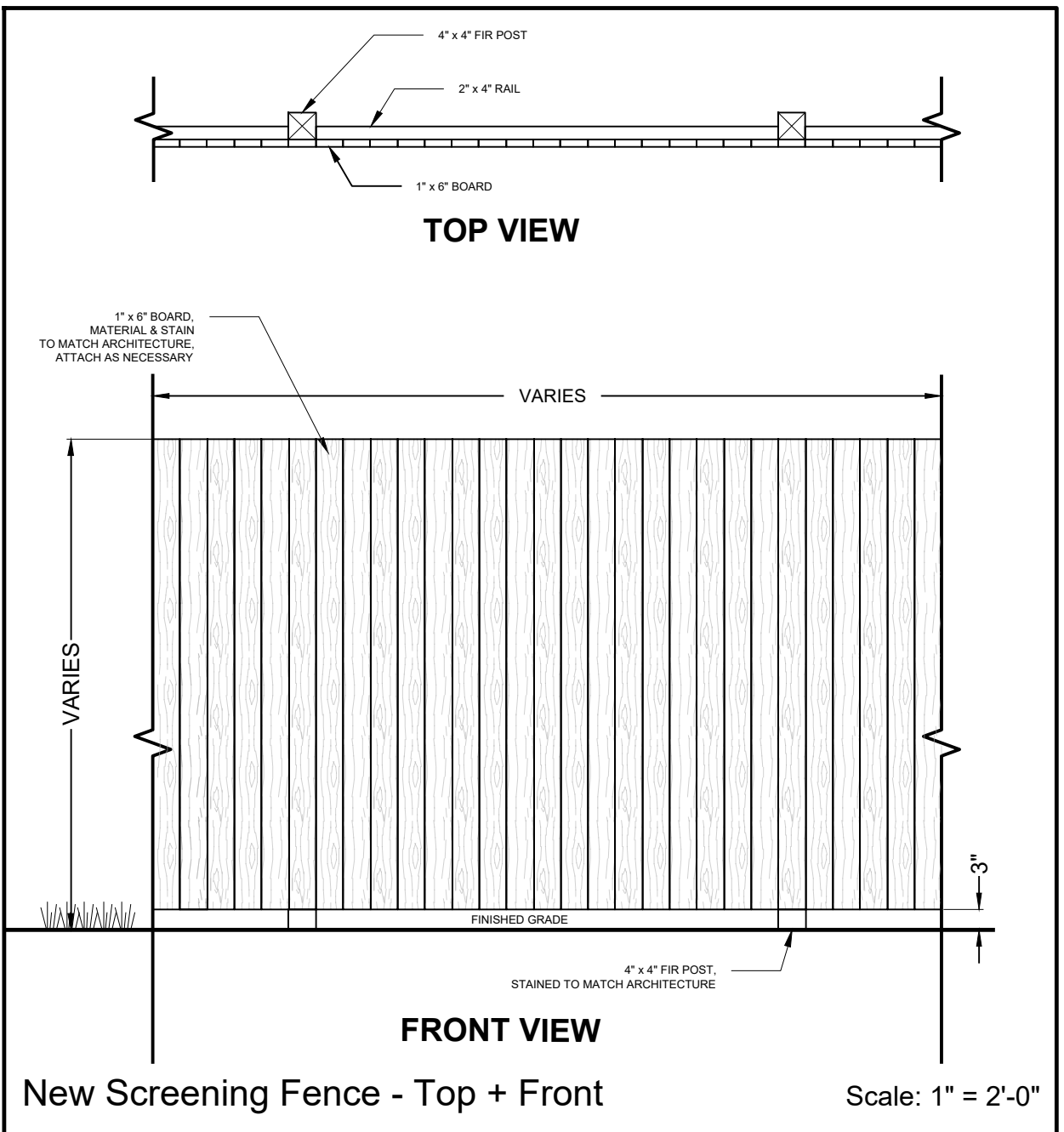
Sheet No:
L1.1

Grading Plan Notes

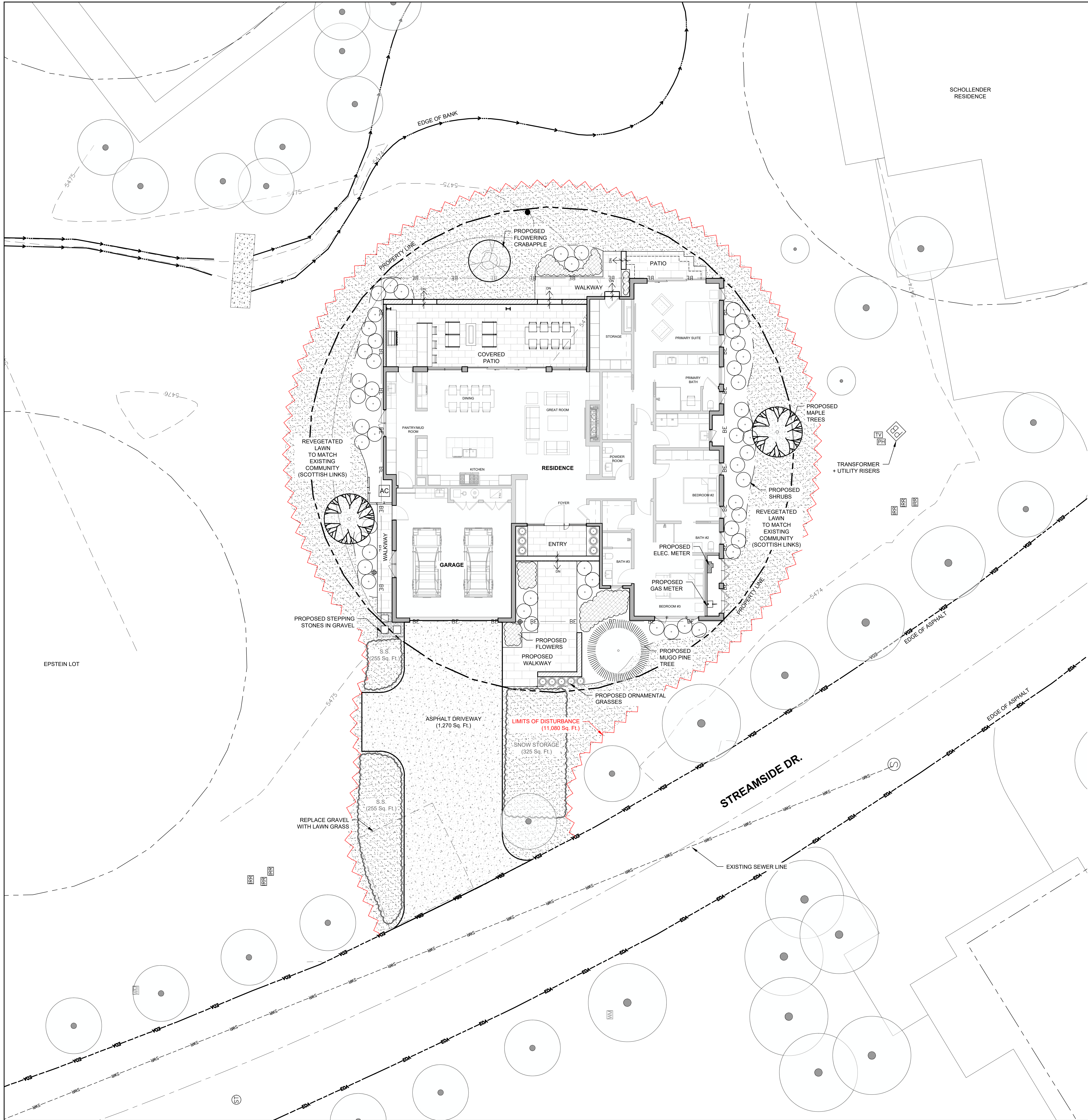
- Landscape architect shall review grading on site prior to completion.
- Topsoil shall be imported for all lawn and bed areas at depth of 4".
- Any topsoil shall be retained with vegetation for use in reestablishing new natural areas.

Plan Legend

- Property Line
- BE Building Envelope
- 5787 Existing Contour
- 95 Proposed Contour
- Existing Stream
- Screening Fence
- Proposed Masonry Wall
- Utilities
- Proposed Pavers (1,000 Sq. Ft.)
- Proposed Asphalt (1,270 Sq. Ft.)
- Proposed Gravel (20 Sq. Ft.)
- Existing Spot Elevations
- Drainage Swale (2% Slope Minimum)
- Surface Drywell
- Proposed Drainage Direction With Slope Percentage
- Proposed Spot Elevations



DESIGN REVIEW - 07/24/26



Landscape Plan Notes

1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
2. All planting beds to have 3" cover of bark or compost mulch.
3. Trees shown at approximately 2/3 mature diameter.
4. All utilities are underground and shall be located prior to any work.

Snow Storage

Driveway Area: 1,270 Sq. Ft.
x .50%

Required Area: 635 Sq. Ft.

Snow Storage Provided: 645 Sq. Ft.

Irrigation Calculations

Total Lot = ± 0.18 Acres (± 7,654.78 sq.ft.)

Irrigated Areas:

Lawn	1,516 sq.ft.
Natural Grass	0 sq.ft.
Planter Beds	1,187 sq.ft.

Total Irrigated Area ± 2,703 sq.ft (± .06 Acre)

Non-Irrigated Areas:

Total Non-Irrigated Area ± 4,951 sq.ft (± 0.12 Acre)

Note: Irrigation to Connect To Community Irrigation

Plan Legend

- Property Line
- Limits Of Disturbance
- Existing Contour
- Proposed Contour
- Existing Stream
- Proposed Edge Of Lawn
- Proposed Screening Fence
- Proposed Masonry Wall
- Utilities
- Proposed Pavers (1,080 Sq. Ft.)
- Proposed Asphalt (1,270 Sq. Ft.)
- Proposed Gravel (20 Sq. Ft.)
- Proposed Stepping Stones
- Proposed Snow Storage

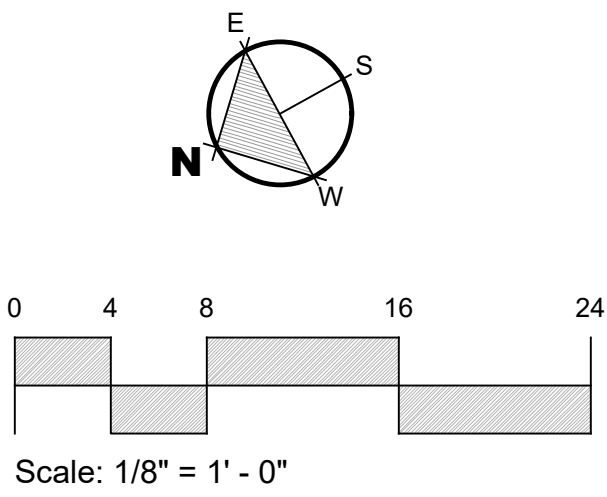
Existing Tree Legend

- Existing Tree

Plant Legend			
Symbol	Qty.	Species	Size
	3	Deciduous Trees	2-1/2" Cal
	2	Autumn Blaze Maple	
	1	Flowering Crabapple	
	1	Evergreen Trees	12"
		Mugo Pine	
	53	Deciduous Shrubs	5 gal.
		Barberry	Ninebark
		Burning Bush	Potentilla
		Pawnee Buttes Cherry	Spiraea
		Honeysuckle	Snowberry
		Mockorange	Western Sandcherry
	11	Ornamental Grasses	1 gal.
		Karl Foerster	
		Blue Oat	
		Feather Reed	
	135 sq.ft.	Ground Cover/Perennials	1 gal. & flats
		Various Native/ Naturalized	
	4,000 sq.ft.	Grasses	Hydroseeded
		Scottish Link Fescue	

Hydroseeded only to rehabilitate disturbed areas, may differ from the sq ft listed.

All trees and shrubs to be irrigated with "state-of-the-art drip irrigation" tied into existing common system



DESIGN REVIEW - 07/24/26

Lovinger Residence

EGGERS ASSOCIATES, P.A.
Landscape architecture
T (208) 725-5988
F (208) 725-5972
P.O. Box 973
Ketchum, ID 83340

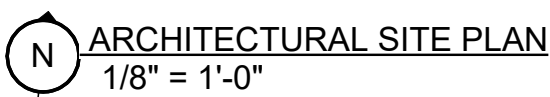
Lovinger Residence
30 Streamside Dr.
Village Green @ Valley Club 2, Lot 30
Blaine County, Idaho

Job No. 26.16

Scale: 1/8" = 1' - 0"

Issue/Revisions: Date:

Design Review: 07/24/26



1. PROPERTY LINE MUST BE CLEARLY MARKED ON SITE PRIOR TO CALLING FOR FIRST INSPECTION TO IDENTIFY SETBACKS.

2. VERIFY ALL CALLS, DIMENSIONS ON SITE. APPROVED NUMBER OF ADDRESS SHOWN MUST BE PROVIDED FOR NEW BUILDINGS. ADDRESS SHOWN TO BE VISIBLE AND LEGIBLE FROM THE STREET.

3. SITE PLAN IS CREATED FOR THE PURPOSES OF GENERALLY LOCATING THE STRUCTURE ON THE SITE. IT IS GENERATED BY THE PLANNING DEPARTMENT AND DOES NOT CONSTITUTE A SURVEY OF THE LAND OR IMPLY AND REPRESENTATIONS AS TO THE SIZE OR ANY OTHER FACTS REGARDING THE LAND SHOWN HEREIN.

4. ALL GRACES (IF SHOWING) ARE SUPPLIED BY CONTRACTOR OR SUBCONTRACTOR.

5. MINIMUM LOT COVERAGE FROM BUILDING 5% FOR 10 MIN.

6. VERIFY ALL LOT BUILDING SETBACKS BY OWNER OR DESIGNER PRIOR TO TRENCHING/GRADING.

7. CONTRACTOR/OWNER ASSUMES RESPONSIBILITY OF LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION.

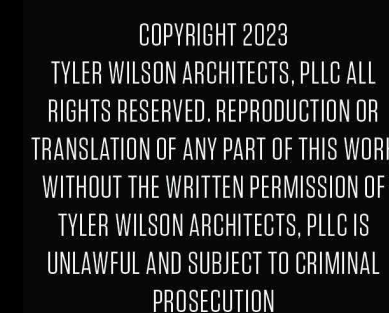
8. VERIFY LOCATION OF SIDEWALKS, PATIOS AND STEPS W/ OWNER/CONTRACTOR PRIOR TO SETTING UP AND POURING CONCRETE.

9. VERIFY WORK TO INSURE PROPER PLACING OF UTILITIES AND ADJACENT PROPERTY. PROTECT EXISTING UTILITIES AND RECOMMENDED UTILITIES. PLAN TO INSURE SITE DRAINAGE AND QUALITY CONTROL.

LEGAL DESCRIPTION:
30 STREAMSIDE DR, HAILEY, ID 83333

ZONED: R2

S2	PROPERTY LINE
S15	DRIVEWAY APPROACH; DRIVEWAY CONNECTION AT RIDGEWAY DRIVE. DWGS.
S23	BUILDING ENVELOPE
S24	CONSTRUCTION FENCE TO ENCOMPASS LIMITS OF DISTURBANCE; REF. LANDSCAPE
SE10	(E.) REPLACE E. PARKING WITH HOA APPROVED TURF
SE16	(E.) STREET TREE TO REMAIN - PROTECT IN PLACE
SN34	PATIO

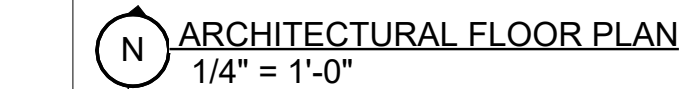


STREAMSIDE RESIDENCE

ARCHITECTURAL SITE
PLAN[illegible]

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

A10



WALL ASSEMBLY:

- REFER TO WALL ASSEMBLY TYPES ON SHT A72

CASEWORK:

- ALL CASEWORK IS SUGGESTIVE. FINAL DESIGN AND LAYOUT IS BY OWNER/CONTRACTOR. SEE KEYNOTES FOR MORE DETAIL.

FRAMING COLUMN:

- REF. TO STRL DWGS. SEE KEYNOTES FOR MORE INFO.

DOOR:

- SEE DOOR SCHEDULE PER SHT A71 FOR DOOR TYPE AND ADDITIONAL INFORMATION.

WINDOW:

- SEE WINDOW SCHEDULE PER SHT A71 FOR WINDOW TYPE AND ADDITIONAL INFORMATION.

SINKS:

- SINK TYPE INCLUDING FIXTURES, BASIN, AND OTHER ACCESSORIES SHALL BE SELECTED BY GC AND OWNER.

TOILET:

- TOILET TYPE AS SELECTED BY OWNER. MAINTAIN REQUIRED CLEARANCE PER R307.1.

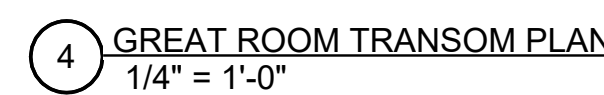
AP4	WASHER/DRYER - PROVIDE 4" MIN. DIA. DUCT, 14" MAX. LENGTH INCLUDING (2) 90 DEGREE ELBOWS, DUCTED TWO(2) TO ONE(1) OUTSIDE THE HOME IN EXCESS OF TWO(2) FURNISHINGS - AS SELECTED
AP17	GAS - AS SEL. BY OWNER. COLOR FINISH AS SEL., PROVIDE 1/2" DIA. GAS LINE, 1/2" DIA. GAS VALVE, 1/2" DIA. GAS STOP PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/ MFG.)
AP20	REFRIGERATOR/FREEZER - VERIFY APPLIANCE W/ OWNER. BUILT-IN GAS SEL. BY OWNER. COLOR FINISH AS SEL.
AS21	REFRIGERATOR/FREEZER - VERIFY APPLIANCE W/ MFG. BUILT-IN GAS SEL. BY OWNER. COLOR FINISH AS SEL.
AS22	REFRIGERATOR/FREEZER - VERIFY APPLIANCE W/ MFG. BUILT-IN GAS SEL. BY OWNER. COLOR FINISH AS SEL.
CS1	BATH CABINET - BUILT-IN. FINISH AS SEL.
CS2	BATH CABINET & COUNTER - BUILT-IN. FINISH AS SEL.
CS24	VANITY - SINK-BASE CABINET AND COUNTER - VERIFY SIZE AND FINISH AS SELECTED
FP2	PREFABRICATED FIREPLACE, GAS, FACTORY BUILT PER MFG.'S RECS. FOR INSTALLATION. FACTORY BUILT MUST BE LISTED AND INSTALLED IN ACCORDANCE W/ THEIR INSTALLATION INSTRUCTIONS. (VERIFY FACTORY BUILT FIREPLACE MUST COMPLY W/ THE AHJ STANDARDS)
FP3	MANDATORY MEASURES: ISOKERN, COLOR / FINISH AS SEL.; FACTORY BUILT PER MFG.'S RECS. FOR INSTALLATION.
FP4	FIREPLACE - PREFABRICATED, ISOKERN 48" INCH MAXIMUM CLEARANCE TO COMBUSTIBLES, FACTORY BUILT PER MFG.'S RECS. FOR INSTALLATION. FACTORY BUILT FIREPLACES, CHIMNEYS, AND ALL OF THEIR COMPONENTS MUST BE LISTED AND INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MFG.'S INSTALLATION INSTRUCTIONS.
MEC7	HVAC UNIT - AS SEL. BY MECH; GC TO VERIFY SIZE, LOCN & VENTING
MEC8	WATER HEATER TANK - PROVIDE REGISTRATION SYSTEM PER MFG.'S RECS. FOR INSTALLATION
MEC9	WATER HEATER TANK - PROVIDE REGISTRATION SYSTEM PER MFG.'S RECS. FOR INSTALLATION
PL5	DISHWASHER - PROVIDE POWER AND DRAIN AS REQ'D. PROVIDE DRAIN AND POWER AS REQ'D. AS SEL. BY OWNER.
PL6	KITCHEN SINK - AS SELECTED
PL7	TILE - MIN. 24" x 48" CL. IN FRONT, MIN. 30" CL. WIDE IN FRONT
PL16	DOORSET - ALUMINUM W/ KYNAR FINISH OR EQUIV. AS SELECTED
PL19	CLOSET CHOWDER SEAT PER I.D.
PL20	DRAIN LINE - IN WALL/FLOOR ABOVE 3" PIPE (REF. CIVL DWGS. & SEL. PER MFG.) PROVIDE ROOF INSTALL PER INSTRUCTIONS TO ORDERING AND INSTALLATION
PL23	STOVE - AS SEL. BY OWNER. COLOR / FINISH AS SEL. INSTALL PER MFG.'S RECS.
ST1	EXPOSED STEEL COLUMN SIZE PER STRUCT. DWGS., PAINT AND SEAL PER MFG.'S RECS.
UN1	(N) GAS METER LOCATION - (REF. SURVEY & CIVL DWGS.)
UN2	(N) ELECTRICAL PANEL LOCATION (PROVIDE MIN. 36" CLEAR IN FRONT)
UN3	(N) ELECTRICAL METER LOCATION - (REF. SURVEY & CIVL DWGS.)



2LDS Lighting

- 5-CCT Switchable between 2700K and 5000K
- Electrical box located on back of fixture to allow easy installation
- Sold as new construction, may be configured in field for remodel
- Driver concealed within the fixture
- 5 year warranty

Power:	12W
Input:	120-277 VAC, 50/60Hz
Dimming:	ELV: 100-5%, TRIAC: 100-5%
Light Source:	Integrated LED
Lens:	Frosted TIR lens
Rated Life:	50000 Hours
Mounting:	New construction housings included with hanger bars
Cut Out:	4 1/8"
Finish:	Electrostatically Powder Coated: White
Ceiling Thickness:	1/2" - 1 1/2"
Operating Temp:	-4°F to 104°F (-20°C to 40°C)
Standards:	ETL, cUL, Wet Location Listed, Energy Star 2.0, Title 24



1 5/8" GYW WITH ALL GYW CORNERS TO BE 90 DEGREE MEET
2 CORNERS. VERIFY FLOOR BASE AND CEILING FINISH. SUBMIT
3 FINISH SCHEDULE TO ARCHITECT FOR APPROVAL.
4 ALL VERTICAL DIMENSIONS NOTED ARE ABOVE SLOPED
5 LIGHT FIXTURES, DIFFUSERS, GRILLS TO BE CENTERED
6 ON WALLS & BEARING PARTITION WALLS. VERIFY
7 PROVIDE LIGHTING AND DUCT POWER AT 20-40° C. IN ATTIC
8 CROSS REFERENCE REFLECTED CEILING PLANS WITH
9 ELECTRICAL AND MECHANICAL. NOTIFY DESIGNER OF ANY
10 DISCREPANCIES PRIOR TO CONSTRUCTION.
11 COORDINATE INSTALLATION ALIGNMENT OF ATTIC ACCESS
12 DOORS WITH TRUSS LAYOUT. VERIFY ALL TRUSS JOINTS
13 NOTED "CL." CENTERLINE OF ROOF OR SPACE. U.N.O.
14 CENTERLINE NOTED: LAV/ SINK/ TOILET ETC. ARE TO BE
15 COORDINATED ON CABINET LAYOUT. VERIFY ALL TRUSS
16 WITH CABINET SUB-CORRELATOR AND PLUMBING
17 SUB-CORRELATOR.
18 FLOOR AND ROOF FRAMING MAY HAVE TO BE ADJUSTED FOR
19 LIGHT PLACEMENT. FIELD VERIFY FRAMING AND LIGHTING
20 PLACEMENT. ALL G.O. DIMENSIONS TO BE FIELD VERIFIED.
21 VERIFY ALL DIMS TO LIGHTS IN CLOSETS TO MEET CURRENT
22 LIGHTING SCHEDULE. VERIFY ALL LOW VOLTAGE WIRE
23 COVER AS REQUIRED TO MEET CODE.
24 VERIFY ALL DIMS TO LIGHTS IN LOW VOLTAGE WIRE
25 CLOSETS ARE REQUIRED TO MEET CODE.
26 ALL EXPOSED TIMBERS: GULLLAMS, DECKING, BEAMS, JOISTS,
27 BRACKETS & BANDS TO BE PAINTED TO MATCH EXISTING
28 RESAWN MATERIAL. TYPICAL SUBMIT SAMPLES FOR
29 APPROVAL.
30 ALL UPPER CABINETS TO HAVE UNDER CABINET LIGHTING (U.C.)
31 U.N.O. UNDER CABINET POWER. BASIS OF DESIGN: WIREMOLD
32 STRIP. SEE AS SHEETS.
33 ALL LOWER CABINETS NOTED: ALL CANS, CABINETS AND
34 PENDANT LIGHTS TO BE DIMMABLE.
35 COORDINATE ELECTRICAL LOCATIONS WITH PLUMBING.
36 MECHANICAL & ELECTRICAL CONTRACTORS PRIOR TO LIGHT
37 ROUGH IN. LIGHTS ARE REQUIRED TO BE CENTERED ON
38 WALLS & BEARING PARTITION WALLS.
39 PRIOR TO LIGHT SWITCH ROUGH-IN: WALK RESIDENCE WITH
40 DESIGNER TO VERIFY SWITCH LOCATION AND FUNCTION.
41 VERIFY ALL ELECTRICAL PANELS, DISCONNECTS, TRANSFORMER
42 POWER/ DATA, (SUCH AS TIEBACK LIGHTING, DOCKING DRAW
43 BOARD) UNDER CLOSET LIGHTS. VERIFY ALL DIMS TO
44 ALL EXHAUST FAN VENTING TO VENT IN SOFFIT WHERE
45 THERE IS NO UNDER CLOSET LIGHTS. VERIFY WHERE POSSIBLE, SEE
46 14A-2.2 SHEETS FOR SOFFIT GRILL.
47 ALL CLOSETS LIGHTS WITH "F" FIXTURES TO BE HINGE
48 SWITCHED.
49 SUB-CORRELATOR TO PROVIDE 16" OF SLACK EACH SIDE OF
50 DISCONNECT INDICATED ON INTERIOR ELEVATION AT ALL
51 LOCATIONS.
52 PROVIDE TRAFFIC STOPPING AS REQ'D PER CURRENT EDITION OF
53 IBC. THERE SHALL BE NO TRAFFIC STOPPING ABOVE AND
54 BELOW THE CONCEALED SPACE OF A FLOOR/CEILING
55 TRANSITION. TRAFFIC STOPPING SHALL BE THE MINIMUM OF THE
56 AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000
57 SQUARE FEET. TRAFFIC STOPPING SHALL BE THE MINIMUM OF THE
58 SQUARE SPACE IN THE TRANSITION AREA. E.G. AREA "A"

LG3 5" RECESSED LED LIGHT FIXTURE W/ WATERPROOF LENSED TRIM FOR EXTERIOR APPLICATIONS (ARCH. TO APPV.)

LG28 METAL WALL SCONCE, DARK SKY APPROVED FIXTURE ONLY - 2700 KELVIN OR LESS; LIGHT SOURCE TO BE HIDDEN. REF. DTL. A72

OT24 INFRARED ELEMENT HEATER, ELECTRIC, RECESSED

OT25 FAN IN BATHROOM TO BE ON HUMIDITY CONTROL SENSOR - MIN. CAPACITY 50 CFM

TYPE MARK	DESCRIPTION	QTY.
A	RECESSED CAN LED LIGHT FIXTURE	76
B	RECESSED VAPORPROOF CAN LED LIGHT	15
E	EXT. WALL SCONCE LED LIGHT FIXTURE	6
	DARK SMOKE APPLIED FIXTURE ONLY. LIGHT SOURCE NOT VISIBLE	
F	LINEAR LED FIXTURE - CEILING MOUNT (A.L. RECESS)	8
LG	DECORATIVE PENDANT LIGHT FIXTURE	2
LH	LED WALL SCONCE LED LIGHT FIXTURE	17
P	DECORATIVE PENDANT LIGHT FIXTURE (AS SEL BY OWNER)	
W	5' RECESSED LED LIGHT FIXTURE W/ BAFFLE TRIM - LENSED TRIM FOR SHOWERS, BATHROOMS, CLOSETS AND EAVES	3
	REFLECTOR TRIM FOR KITCHENS (ARCH. TO APPL.)	

CEILING FINISHES

GYPSUM CEILING FINISH

1 HR RATED GYPSUM CEILING FINISH

T&G CEILING & SOFFITS:

- INT. TAG CLG. 1/8" XPT. UNO.
- BUTT JOINT, SO. EDGES AS SEL. BY ARCH
- EXT. TAG CLG. BUTT JOINT SO. EDGES, AS SEL. BY ARCH

UTILITY EQUIPMENT AND DEVICES

SMOKE DETECTOR

COMBO SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR

EXHAUST FAN 80 CFM BATHROOMS / 100 CFM MIN. KITCHEN

LIGHT FIXTURES

SURFACE MOUNTED LED BOX LIGHT FIXTURE

SURFACE MOUNTED LED UNDERCOUNTER LIGHT FIXTURE

RECESSED CAN LED LIGHT FIXTURE

RECESSED VAPORPROOF CAN LED LIGHT FIXTURE

SURFACE MOUNTED LED DOME LIGHT FIXTURE

DECORATIVE PENDANT LIGHT FIXTURE

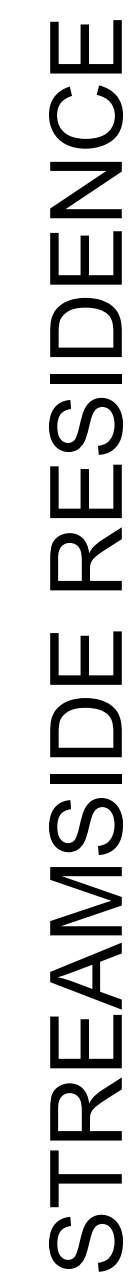
DECORATIVE PENDANT LED LIGHT FIXTURE

INT. WALL SCONCE LED LIGHT FIXTURE

EXT. WALL SCONCE LED LIGHT FIXTURE

VAPORPROOF CAN LED LIGHT FIXTURE

RECESSED VAPORPROOF CAN LED LIGHT FIXTURE



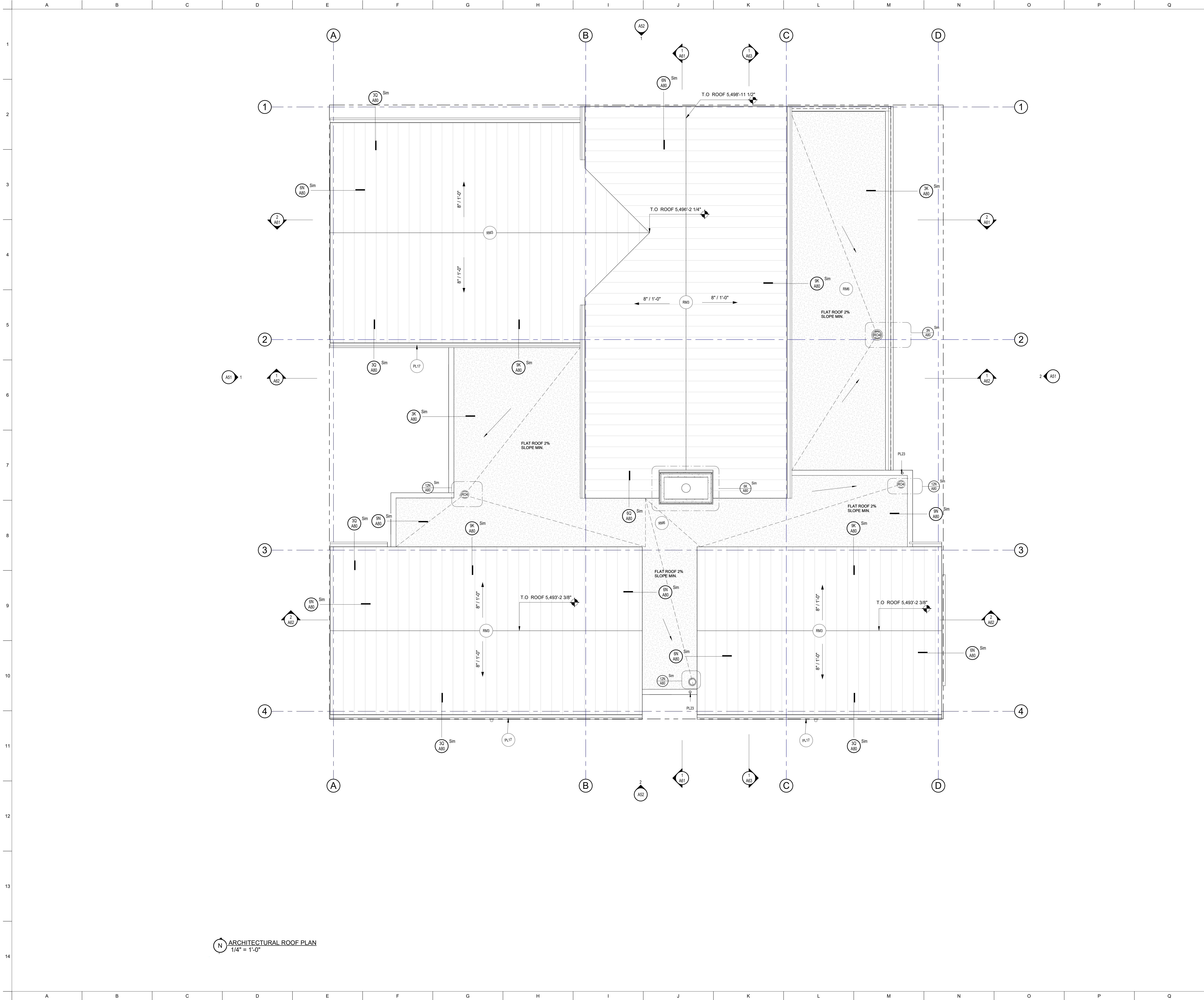
330 STREAMSIDE DR. HAILEY, ID 83333

REFLECTED CEILING

[illegible]

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

A31



GENERAL NOTES - ROOF PLAN

- ALL VISIBLE FLASHING SHALL BE KYNAR FINISHED, WHERE APPLICABLE TO ROOF. PAINTED GALVANIZED MAY BE USED AT GABLE AND EAVE ENDS WHERE SHINGLES WILL COVER EXPOSED FLASHING.
- RAIN GUTTERS AND RAIN LEADERS SHALL BE INSTALLED PER VENDOR REQUIREMENTS. VENDOR TO CONFIRM THAT DESIGN SIZES AND LAYOUT ARE ADEQUATE TO PROVIDE A POSITIVE DRAINING SYSTEM.
- ALL EAVE VENT OPENINGS SHALL BE COVERED WITH WIRE MESH AND BIRDSCREEN. EAVE VENT LOCATIONS SHALL BE DETERMINED IN FIELD AND DISPERSED EQUALLY AROUND THE PERIMETER EAVES. PAINT ANY EXPOSED RAFTERS SEEN THROUGH BIRD SCREEN.
- ALL ROOF PENETRATIONS ARE TO BE FINISHED / PAINTED TO MATCH ADJACENT ROOF COLORS. UNC.
- VENTS, EXHAUSTS AND OTHER PLUMBING AND MECHANICAL ROOF PENETRATIONS HAVE NOT BEEN SHOWN. EXACT LOCATIONS TYPES, SIZES AND QUANTITIES MUST BE VERIFIED.
- ALL EXPOSED WOOD ROOF FRAMING MEMBERS, TO BE STAINED.
- ALL FLAT ROOF, ROOF DRAINS AND OVERFLOW DRAINS TO BE CAST IRON AND INSULATED. SUB-CONTRACTOR TO VERIFY DIAMETER OF DRAINS. MINIMUM 2" DIA.
- DIRECTION OF SLOPE, 1/4" MINIMUM ON LOW SLOPE ROOFS. VERIFY MIN. REQUIRED BY MANUFACTURER.

KEYNOTES

PL17 GUTTER - ALUMINUM FINISH & SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.

PL23 DRAIN LINE IN WALL FROM ABV. 3" PIPE (REF. CIVIL DWGS. & DETAILS). VERIFY W/ PLUMBER AND ROOF INSTALLER PRIOR TO ORDERING AND INSTALLATION.

RM3 STANDING SEAM METAL ROOFING - REF. MAT. SCHEDULE SHT. A51

RM6 FLAT COOL ROOF, CLASS 'X'. COLOR AS SELECTED - TPO MEMBRANE - REF. MAT. SCHEDULE SHT. A51

RO4 ROOF DRAIN W/ OVERFLOW SCUPPER IN PARAPET. DRAIN LINE IN WALL. DRAINS TO BE INSUL'D. DRAINS TO BE CAST IRON. VERIFY AND COORD. LOC'N W/ ROOF AND PLUMB' SUBCONTRACTORS.

ROOF LEGEND

	TPO SINGLE PLY MEMBRANE
	STANDING SEAM METAL
	5:12
	EXISTING GRADE CONTOUR LINE SEE SURVEY FOR ADD. INFO
	NEW GRADE CONTOUR LINE SEE LANDSCAPE PLANS FOR ADD. INFO

TYLER WILSON ARCHITECTS
TYLERWILSONARCHITECTS.COM
208.818.8040
182 LINCOLN STREET
TWIN FALLS, ID 83301

COPYRIGHT 2023
TYLER WILSON ARCHITECTS, PLLC ALL RIGHTS RESERVED. REPRODUCTION OR TRANSLATION OF ANY PART OF THIS WORK WITHOUT THE WRITTEN PERMISSION OF TYLER WILSON ARCHITECTS, PLLC IS UNLAWFUL AND SUBJECT TO CRIMINAL PROSECUTION

HOA PRELIM

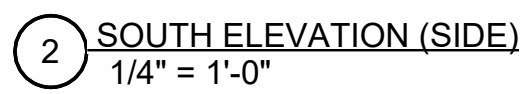
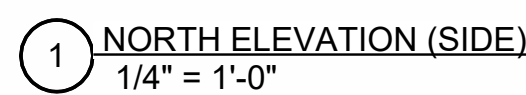
STREAMSIDE RESIDENCE
30 STREAMSIDE DR. HAILEY, ID 83333

ROOF PLAN

REV.	DESCRIPTION	DATE

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

A41



- 1 ALL VISIBLE EXPOSED FLASHING TO BE KYNAR FINISHED.
- 2 ALL ROOF PENETRATIONS (W/ VENTS, STAKES, ETC.) TO BE
- 3 FLASHED WITH 1" MIN. FLASHING. FLASHING TO BE APPLIED ON
- 4 BACK SIDE OF ROOF IF POSSIBLE. COORDINATE LOCATIONS
- 5 WITH DESIGNER.
- 6 ALL TRIM TO BE R-8 CEDAR, WITH EASED EDGES. TYP
- 7 ALL EXPOSED INTERIOR & EXTERIOR WOOD SURFACES TO BE
- 8 FINISHED WITH 1/4" THICK, 1/2" BEAD, 1/2" BEAD, 1/2" BEAD,
- 9 PRE-STAINED ACCEPTABLE. FINAL COAT MUST BE FIELD
- 10 APPLIED.
- 11 ALL ROOF SHALL BE KYNAR FLASHING ABOVE ALL HORIZONTAL
- 12 WINDOW TRIM AND BACKING BLOCKS (WINDOWS, DOORS, LIGHTS
- 13 AND VENTS) TO HAVE 1/4" MIN. FLASHING. FLASHING TO BE
- 14 HORIZONTAL LEG TO PROJECT PAST TRIM WITH A BEAD EDGE
- 15 TO 1/4" DEPTH.
- 16 ALL EXPOSED TIMBERS: GULLIAMS, DECKING, BEAMS, JOISTS,
- 17 FASCIA, BELLY BANDS, TRIM, WINDOW CONNECTIONS, ETC. TO BE
- 18 FINISHED WITH 1/4" THICK, 1/2" BEAD, 1/2" BEAD, 1/2" BEAD,
- 19 ALL EXPOSED LUMBER, TIMBER & GLU-LAM CANS TO BE
- 20 FINISHED WITH 1/4" THICK, 1/2" BEAD, 1/2" BEAD, 1/2" BEAD,
- 21 DRYERS AND BATHROOM EXHAUST FANS IN SOFFIT
- 22 PREFERABLY, OR SIDE WALL WHERE POSSIBLE. COORDINATE
- 23 WITH DESIGNER. FLASHING TO BE APPLIED TO MATCH
- 24 ROOF OR SIDE WALL.
- 25 ALL EXPOSED TRIM TO BE NON-PREMIUM. TO BE AROUND TRIM
- 26 TO MATCH SIDING.
- 27 ALL EXPOSED EXTERIOR CONCRETE WALLS TO HAVE 2 COATS
- 28 OF SEAL. BASE OF DESIGN. PROSICO, BURE KUNZ,
- 29 WEATHER SEAL, SLOXANE PD, PENETRATING SEALER, NO
- 30 STONE VENEER IS COVER ALL EXPOSED FOUNDATION AND
- 31 TO EXTEND 1/2" BELOW GRADE AT SLOPE AT PATIO LEVEL AND
- 32 TO EXTEND 1/2" R-10 INSULATION TO BE APPLIED TO
- 33 PATIOS.
- 34 ALL EXPOSED CONCRETE TO BE BOARD FORM.
- 35 ALL EXPOSED STEEL TO BE NON-PREMIUM. WEATHERED AND
- 36 THEN CLEAR SEALED, COORDINATE AMOUNT OF WEATHERING
- 37 WITH DESIGNER.
- 38 ALL EXPOSED WELDS TO BE ARCHITECTURAL, CONTINUOUS
- 39 WITH ALL LVL'S AND TRIM.
- 40 ALL EXPOSED TIMBERS: GULLIAMS, DECKING, BEAMS, JOISTS,
- 41 FASCIA, BELLY BANDS, TRIM, WINDOW CANS, SIDING ETC.
- 42 TO BE FINISHED WITH 1/4" THICK, 1/2" BEAD, 1/2" BEAD, 1/2" BEAD,
- 43 DRYERS AND BATHROOM EXHAUST FANS IN SOFFIT
- 44 PREFERABLY, OR SIDE WALL WHERE POSSIBLE. COORDINATE
- 45 WITH DESIGNER. FLASHING TO BE APPLIED TO MATCH
- 46 ROOF OR SIDE WALL.

DEC016 WOOD HEADER AS SELECTED. ARCH. TO APPROVE

FP13 CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNIES EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACT. BILT. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W. MFG. INST. INSTRUCTIONS. CMC 802 4.2.4.)

LG28 METAL WALL SCISSOR, LIGHT SOURCE APPROVED: FIXTURE REF. 2700 KELVIN APPROX. DARK SOURCE TO BE HIDDEN. REF. DTL 472

PN50 DOWNSPOUT - ALUMINUM FINISH W. KYNAR FINISH EXTERIOR - AS APPROVED TO ARCH.

PL17 GUTTER - ALUMINUM FINISH AS SEL. - PROVIDE SHIP DWGS. TO ARCH.

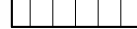
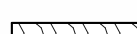
RM3 STANDING SEAM METAL ROOFING - REF. MET. SCHEDULE SH1

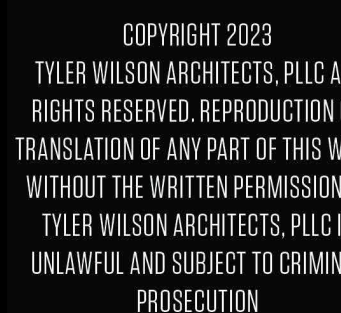
ST8 EXPOSED STEEL BEAM SIZE PER STRUCT. DWGS. PAINT AND SEAL - COORDINATE W. INTERIOR

STN2 STONE VOUCHER - AS SELECTED. ARCH. TO APPROVE

VD07 WOOD SIDING - REF. MET. SCHEDULE SH1

VD10 HORIZONTAL WOOD SIDING - REF. MET. SCHEDULE SH1

- ### **ELEVATION LEGEND**
- | | |
|---|---------------------------|
|  | STONE VENEER (SV) |
|  | WOOD SIDING CLADDING (WS) |
|  | GLAZING |
|  | METAL PANELS (MP) |
|  | EXPOSED STEEL - PAINTED |



STREAMSIDE RESIDENCE

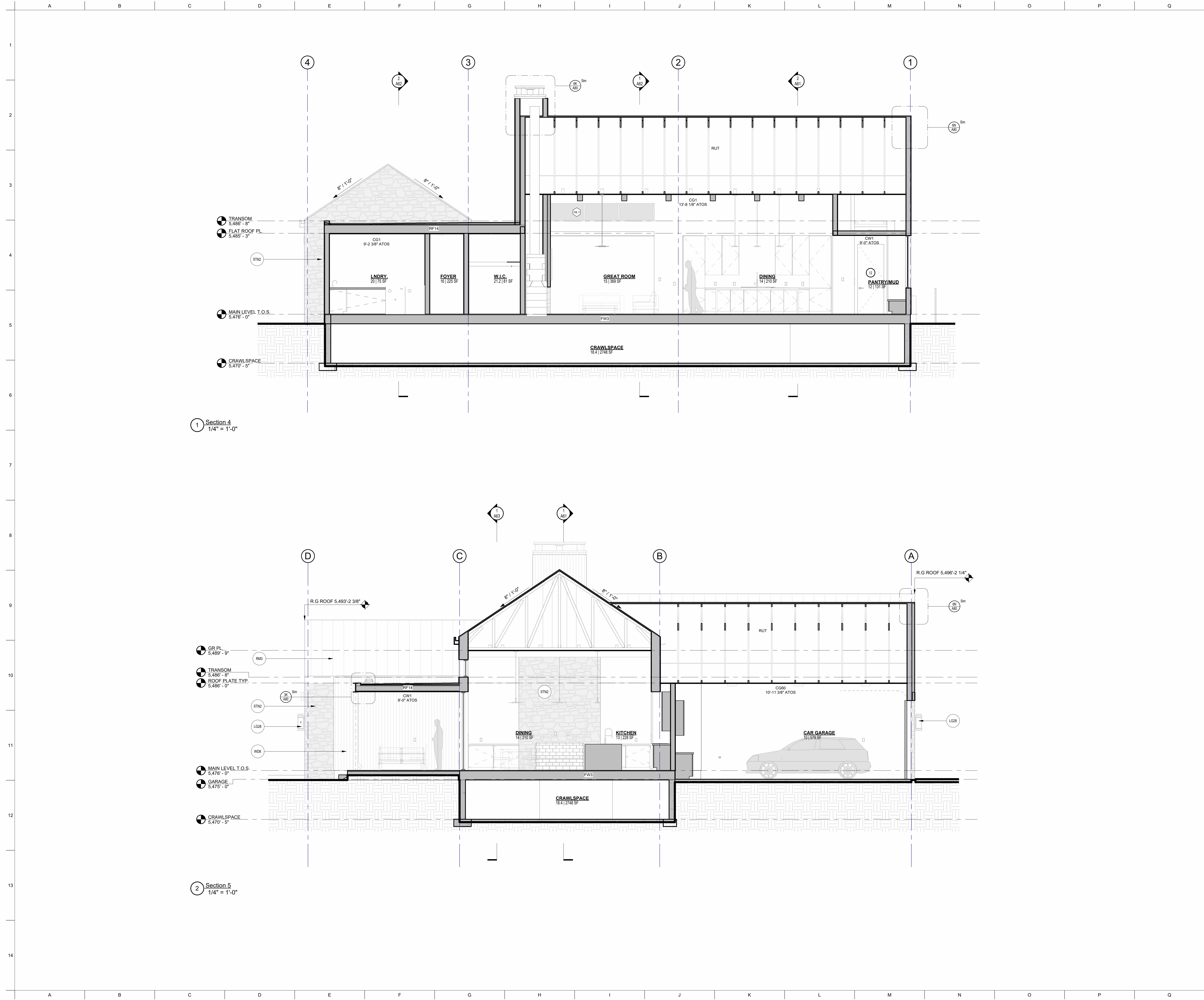
330 STREAMSIDE DR. HAILEY, ID 83333

BUILDING ELEVATIONS

[illegible]

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

A52



GENERAL NOTES - SECTION

- ALL NEW LIVING SPACES TO BE INSULATED. RE: TO ASSEMBLY DTLS PER SHT. A72 & ENERGY CODE REQ'S PER SHEET G00.
- REFER TO STRUCTURAL DRAWINGS FOR SIZES AND CONNECTIONS OF ALL STRUCTURAL ELEMENTS. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING.
- PURPOSE OF BUILDING SECTIONS IS TO HELP CLARIFY DESIGN INTENT. REFER TO FLOOR PLANS, CEILING PLANS, ROOF PLANS, ELEVATIONS ETC. WHERE DISCREPANCIES OCCUR. NOTIFY DESIGNER PRIOR TO COMMENCING OR PROCEEDING WITH WORK.
- ALL INTERIOR ELEVATIONS ARE SCHEMATIC. VERIFY WITH DESIGNER. ALL CHOICES, SIZES AND CONFIGURATIONS OF ALL TRIM, MILLWORK, CABINETS ETC.
- ALL TRIM TO HAVE EASED EDGES ON EXPOSED EDGES- TYPICAL.
- SEE TYPICAL WALL SECTIONS AND ANY DETAILS FOR SPECIFICS.
- ALL EXPOSED WOOD CONNECTIONS TO BE CONCEALED, EXCEPT FOR MALLABLE WASHERS IF SHOWN.
- SEE GENERAL PLAN NOTES ON A72 SHEETS FOR GYPSUM WALL BOARD (GWB) TYPE, THICKNESS, FINISH AND CORNER STYLE (SQUARE / ROUND / CHAMFER).
- ALL EXPOSED INTERIOR & EXTERIOR WOOD SURFACES ARE TO BE STAINED. SIDING, TRIM, ECT., 2 COATS MIN. 1 COAT - SHOP PRE-STAINED IS ACCEPTABLE. FINAL COAT MUST BE FIELD APPLIED.
- ALL EXPOSED INTERIOR & EXTERIOR SURFACES ARE TO BE FINISHED (PAINT, STAIN, POWDER COAT, SEALED, U.N.O.)
- THERE SHALL BE KYNAR FLASHING ABOVE ALL HORIZONTAL WOOD TRIM AND BACKING BLOCKS (WINDOWS, DOORS, LIGHTS ECT.) FLASHING TO HAVE 4" MIN. VERTICAL LEG, AND HORIZONTAL LEG TO PROJECT PAST TRIM WITH A DRIP EDGE- FIELD VERIFY DEPTH.
- ALL EXPOSED CONCRETE TO BE BOARD FORM.
- UNDER SLAB VAPOR BARRIER TO BE 10 MIL. STEGO WRAP VAPOR BARRIER, BY "STEGO INDUSTRIES LLC", OR APPROVED EQUAL.

KEYNOTES

LG28 METAL WALL SCONCE, DARK SKY APPROVED FIXTURE ONLY - 2700 KELVIN OR LESS; LIGHT SOURCE TO BE HIDDEN. REF. DTL. A72

RM3 STANDING SEAM METAL ROOFING - REF. MAT. SCHEDULE SHT. A51

STN2 STONE VENEER - REF. MAT. SCHEDULE SHT. A51

WD8 VERT. WOOD SIDING; REF. MAT. SCHEDULE SHT. A51

REV.	DESCRIPTION	DATE

PRJT #: 26-006

ISSUED: 07/31/26

DSG BY: TW

DRW BY: TW

TYLER WILSON ARCHITECTS

TYLERWILSONARCHITECTS.COM

208.818.8040

182 LINCOLN STREET

TWIN FALLS, ID 83301

COPYRIGHT 2023

TYLER WILSON ARCHITECTS, PLLC ALL RIGHTS RESERVED. REPRODUCTION OR TRANSLATION OF ANY PART OF THIS WORK WITHOUT THE WRITTEN PERMISSION OF TYLER WILSON ARCHITECTS, PLLC IS UNLAWFUL AND SUBJECT TO CRIMINAL PROSECUTION

HOA PRELIM

STREAMSIDE RESIDENCE

30 STREAMSIDE DR. HAILEY, ID 83333

BUILDING SECTIONS

REV.	DESCRIPTION	DATE

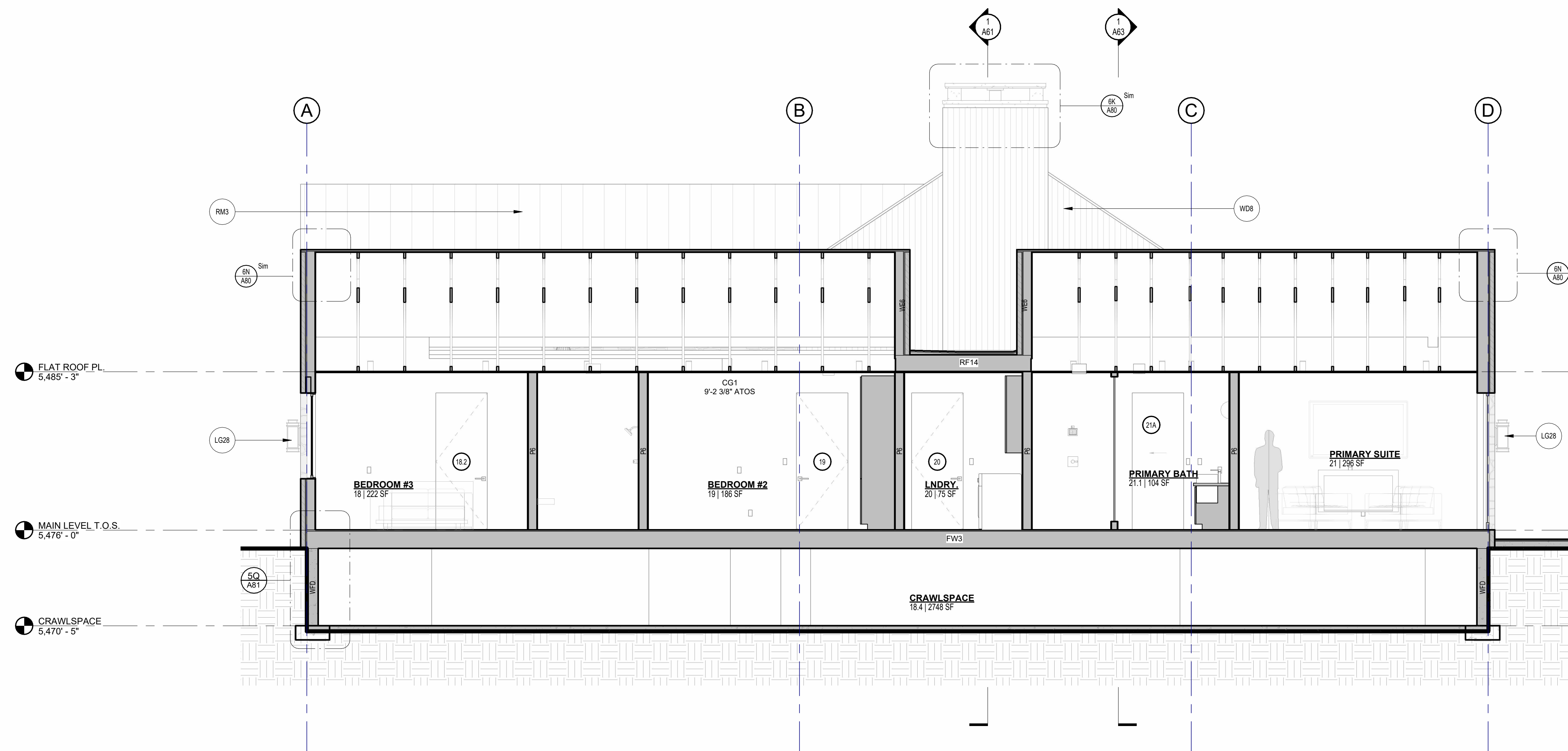
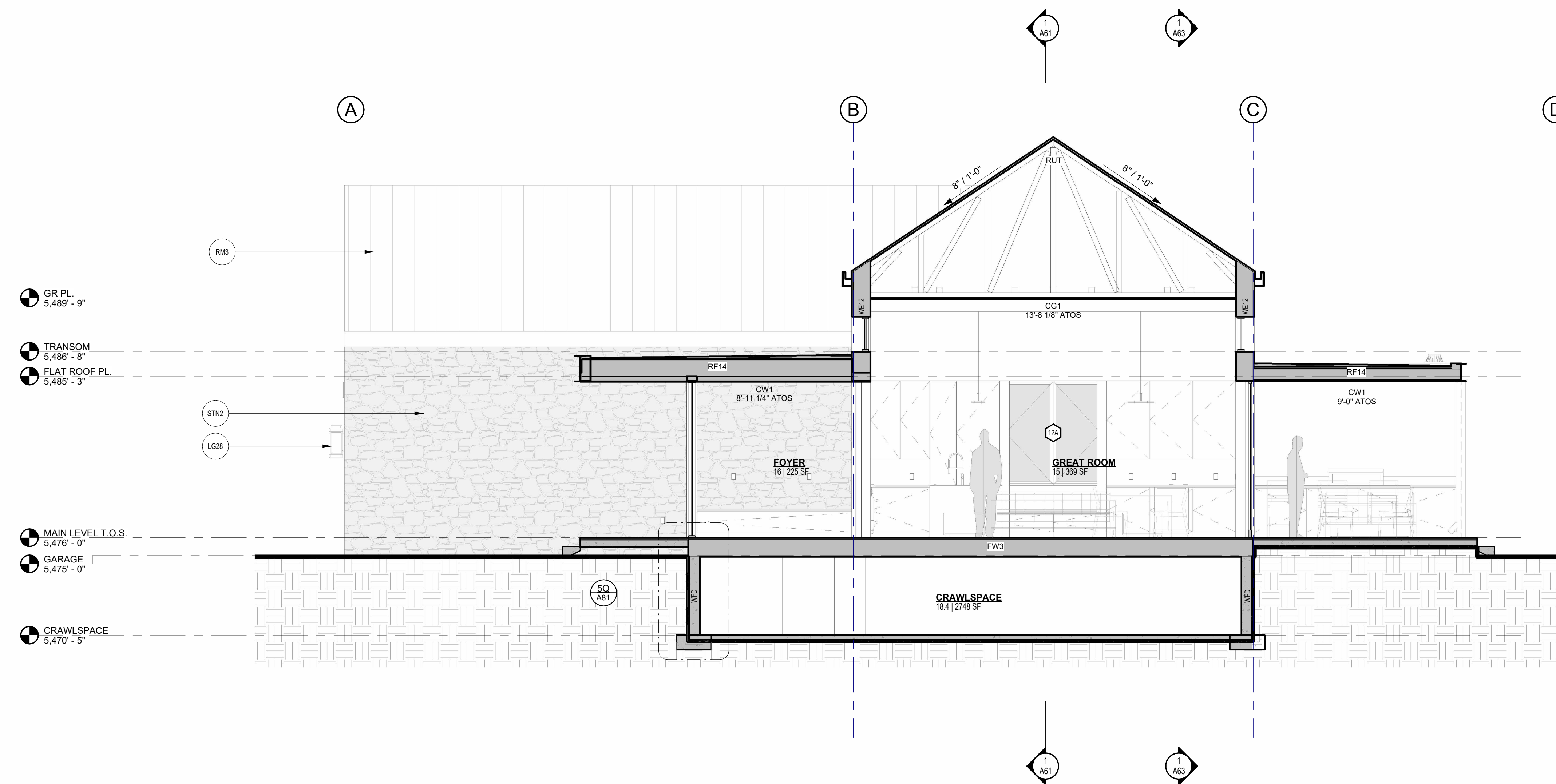
PRJT #: 26-006

ISSUED: 07/31/26

DSG BY: TW

DRW BY: TW

A61



GENERAL NOTES - SECTION

- 1 ALL NEW LIVING SPACES TO BE INSULATED; RE: TO ASSEMBLY
- 2 DLS PER SHF 372 & ENERGY CODE REQ'S PER SHEET G00.
- 3 ALL EXPOSED WOOD SURFACES TO BE FINISHED TO MATCH
- 4 CONNECTIONS OF ALL STRUCTURAL ELEMENTS TO BE NOTED
- 5 AND RECORDED. ON ANY DRIP EDGE, THE FINISH SHALL BE TO THE
- 6 PURPOSE OF BUILDING SECTIONS IS TO HELP CLARIFY DESIGN
- 7 INTENT. REFER TO FLOOR PLANS, CEILING PLANS, ROOF
- 8 PLANS, ELEVATIONS AND DETAILS FOR FINISHES. FOR WORK
- 9 NOTIFY DESIGNER FIRST FOR COMMENCING ON PROCEEDING
- 10 ALL INTERIOR ELEVATIONS ARE SCHEMATIC. VERIFY WITH
- 11 ARCHITECT FOR FINISHES AND CONFIGURATIONS OF ALL
- 12 TRIM. MILLWORK, CABINETS ETC.
- 13 ALL TRIM TO HAVE EASED EDGES ON EXPOSED EDGES.
- 14 CRITICAL
- 15 SEE TYPICAL WALL SECTIONS AND ANY DETAILS FOR
- 16 SPECIFICS.
- 17 ALL EXPOSED WOOD CONNECTIONS TO BE CONCEALED,
- 18 EXCEPT FOR MALLABLE WASHERS IF SHOWN.
- 19 ALL EXPOSED FLOOR FINISHES TO BE FINISHED TO MATCH
- 20 WOOD TRIM AND BACKING BLOCKS. (WINDOWS, DOOR JAMBS
- 21 WALL BOARD (GWB) TYPE, THICKNESS, FINISH AND CORNER
- 22 SQUARE / SQUARE FOOTAGE TO BE NOTED AND RECORDED.
- 23 ALL EXPOSED INTERIOR & EXTERIOR WOOD SURFACES ARE TO
- 24 BE FINISHED TO MATCH. FINISHES TO BE NOTED AND RECORDED.
- 25 PRE-FINISHED IS ACCEPTABLE. FINAL COAT MUST BE FIELD
- 26 APPLIED.
- 27 ALL EXPOSED INTERIOR & EXTERIOR SURFACES ARE TO BE
- 28 FINISHED (PAINT, STAIN, POWDER COAT, SEALED, U.N.O.T.)
- 29 FINISHES SHALL BE KNOWN TO ALL TRADES. FINISHES TO
- 30 WOOD TRIM AND BACKING BLOCKS. (WINDOWS, DOOR JAMBS
- 31 ETC.) FLASHING TO HAVE 4" MIN. FINISH LEG, AND
- 32 FINISH LEG TO BE FINISHED TO MATCH. FINISHES TO BE
- 33 FIELD VERIFY DEPTH.
- 34 ALL EXPOSED CONCRETE TO BE BORD FORM.
- 35 UNDER SLAB VAPOR BARRIER TO BE 10 MIL. STEAR VAPOR
- 36 BARRIER. BY "STEAR INDUSTRIES LLC"; OR APPROVED

KEYNOTES

- | | | |
|------|---|---|
| LG28 | METAL WALL SCENCE, DARK SKY APPROVED FIXTURE ONLY - 2700 KELVIN OR LESS; LIGHT SOURCE TO BE HIDDEN. REF. DTL. A72 | |
| RM3 | STANDING SEAM METAL ROOFING - REF. MAT. SCHEDULE SHT. A51 | |
| STN2 | STONE VENEER - REF. MAT. SCHEDULE SHT. A51 | |
| WD8 | VERT. WOOD SIDING; REF. MAT. SCHEDULE SHT. A51 | 4 |

TYLER WILSON
ARCHITECTS

TYLERWILSONARCHITECTS.COM
TYLER@TWILSONARCH.COM
208.818.6040
182 LINCOLN STREET
TWIN FALLS, ID 83301

COPYRIGHT 2023
FLYER WILSON ARCHITECTS, PLLC ALL
RIGHTS RESERVED. REPRODUCTION OR
TRANSLATION OF ANY PART OF THIS WORK
WITHOUT THE WRITTEN PERMISSION OF
FLYER WILSON ARCHITECTS, PLLC IS
UNLAWFUL AND SUBJECT TO CRIMINAL
PROSECUTION

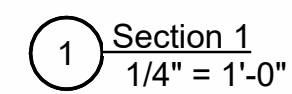
HOA PRELIM

STREAMSIDE RESIDENCE
30 STREAMSIDE DR. HALEY, ID 83333

BUILDING SECTIONS

CJT #: 26-006
 ISSUED: 07/31/26
 G BY: TW
 RW BY: TW

A62



- 1 ALL NEW LIVING SPACES TO BE INSULATED. RE: ASSEMBLY
2 DTLS PER SH-72 & ENERGY CODE REQ'S PER SHEET G00
3 REFER TO STRUCTURAL DRAWINGS FOR FLOOR FINISHES.
4 INTERIOR BUILDING ELEMENTS, FINISHES, MATERIALS, ETC.
5 INTENT. REFER TO FLOOR PLANS, CEILING PLANS, ROOF
6 PLANS, ELEVATIONS ETC. FOR FINISHES, MATERIALS, ETC.
7 INTERIOR DESIGNER PRIOR TO COMMENCING OR PROCEEDING
8 WITH WORK. CHECK FOR CONFLICTS.
9 ALL INTERIOR ELEVATIONS ARE SCHEMATIC. VERIFY WITH
10 DESIGNER, ALL CHOICES, SIZES AND CONFIGURATIONS OF ALL
11 INTERIOR FINISHES, MATERIALS, ETC. PRIOR TO COMMENCING
12 ALL TRIM TO HAVE EASED EDGES ON EXPOSED EDGES.
13 FINISHES, MATERIALS, ETC. PRIOR TO COMMENCING OR
14 PROCEEDING WITH WORK. CHECK FOR CONFLICTS.
15 SEE TYPICAL WALL SECTIONS AND ANY DETAILS FOR
16 SPECIFICS.
17 6. ROOFING: WOOD CONNECTIONS TO BE CONCEALED,
18 EXCEPT FOR MALLABLE WASHERS IF SHOWN.
19 7. ROOFING: PLAN AND ELEVATIONS TO BE FOR GYPSUM
20 WALL BOARD (GWB) TYPE, THICKNESS, FINISH AND CORNER
21 STYLE (SQUARE / ROUND / CHAMFER).
22 8. INTERIOR INTERFACES: ALL INTERIOR SURFACES ARE TO
23 BE STAINED, SIGNED, TRIM, ETC. - 2 COATS MIN. 1 COAT - SHOP
24 FINISHES IS ACCEPTABLE. INTERIOR FINISHES TO BE
25 APPLIED.
26 9. INTERIOR INTERFACES: INTERIOR SURFACES ARE TO
27 BE FINISHED. PAINT, STAIN, POWDER COAT, SEALED, U.N.O.
28 (THAT SHALL BE KYNAR FLASHING ABOVE ALL HORIZONTAL
29 INTERFACES AND INTERFACES TO EXTERIOR SURFACES).
30 EXTERIOR FLASHING TO HAVE 4" MIN. VERTICAL LEG,
31 AND BE APPLIED TO INTERIOR SURFACES WITH A DRIP EDGE,
32 FIELD VERIFY DEPTH.
33 10. EXPOSED CONCRETE TO BE VERMIFORM FINE.
34 11. EXPOSED VAPOR BARRIER TO BE 10 MIL. STEG VAPOR
35 BARRIER BY "STEGO INDUSTRIES LLC", OR APPROVED
36 EQUIVALENT.

HOA PRELIM

30 STREAMSIDE DR HAILEY ID 83333

DATE _____

DESCRIPTION

REV.

PRJT #: 26-006
ISSUED: 07/31/26
DSG BY: TW
DRW BY: TW

A63



PROSECUTION

[illegible]